

**CITY OF GERING
CITY COUNCIL MEETING NOTICE AND AGENDA**

Regular meeting of the Gering City Council, July 10, 2023 at 6:00 p.m., at Gering City Hall Council Chambers, 1025 P Street, Gering, NE.

All agenda items are for discussion and action will be taken as deemed appropriate.

CALL TO ORDER.

1. Recital of the Pledge of Allegiance and Prayer
2. Roll Call
3. Excuse Council Member absence

OPEN MEETINGS ACT - NEB.REV.STAT. CHAPTER 84, ARTICLE 14

As required by State Law, public bodies shall make available at least one current copy of the Open Meetings Act posted in the meeting room. Agenda items may be moved up or down on the agenda at the discretion of the Mayor. As required by State Law, additions may not be made to this agenda less than 24 hours before the beginning of the meeting unless they are considered under this section of the agenda and Council determines that the matter requires emergency action.

CONSENT AGENDA:

(Items under the Consent Agenda are proposed for adoption by one action for all items unless any member of Council requests that an item be considered separately.)

1. Approve minutes of the June 26, 2023 Regular City Council meeting
2. Approve Claims
3. File for Record Lease Estoppel and Agreement for SE Municipal Solar, LLC
4. File for Record application and supporting documents for Safe Streets for All Grant

CURRENT BUSINESS:

1. Approve Ordinance No. 2127 - AN ORDINANCE OF THE CITY OF GERING, NEBRASKA VACATING LOTS 1-2 AND TRACT A, BLOCK 1, LOTS 1-7, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-8, BLOCK 4, LOTS 1-11, BLOCK 5, AND LOTS 1-10, BLOCK 6 OF SOUTHFIELD VILLAGE, CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA; PROVIDING FOR AN EFFECTIVE DATE HEREOF; PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM
2. Approve and authorize the Mayor to sign a Contract for Public Improvements between the City of Gering and AKAJRV 314, LLC
3. Consider approval of Final Pat, MonumentAUL Subdivision

PUBLIC HEARINGS:

1. Public Hearing regarding a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District
 - 1a. Approve Ordinance No. 2128 – AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GERING, NEBRASKA; AMENDING THE ZONING DISTRICT OF CERTAIN LAND WITHIN THE CITY OF GERING, NEBRASKA; AND AMENDING THE ZONING DISTRICT MAP OF THE CITY OF GERING, NEBRASKA; PROVIDING WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM

2. Public Hearing regarding a Zone Change for Lot 8 of MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District

2a. Approve Ordinance No. 2129 - AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GERING, NEBRASKA; AMENDING THE ZONING DISTRICT OF CERTAIN LAND WITHIN THE CITY OF GERING, NEBRASKA; AND AMENDING THE ZONING DISTRICT MAP OF THE CITY OF GERING, NEBRASKA; PROVIDING WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM

BIDS/PROPOSALS:

REPORTS:

1. Liaison Report – Panhandle Area Development District (PADD), Administrator Heath

CLOSED SESSION:

(Council reserves the right to enter into closed session if deemed necessary.)

ADJOURN

THE OFFICIAL PROCEEDINGS OF THE REGULAR MEETING OF THE GERING CITY COUNCIL, JUNE 26, 2023

A regular meeting of the City Council of Gering, Nebraska was held in open session on June 26, 2023, at 6:00 p.m. at Gering City Hall, 1025 P Street, Gering, NE. Present were Mayor Ewing and Councilmembers Shields (at 6:10 p.m.), Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison and Cowan. Also present were City Administrator Pat Heath, City Clerk Kathy Wefl and City Attorney Jim Ellison. Notice of the meeting was given in advance by publication in the Star-Herald, the designated method of giving notice. All proceedings hereafter were taken while the meeting was open to the attendance of the public except as otherwise indicated.

CALL TO ORDER

Mayor Ewing called the meeting to order at 6:00 p.m. and stated that a quorum of the Council was present and City business could be conducted.

1. Recital of the Pledge of Allegiance and Prayer
2. Roll Call
3. Excuse Councilmember absence (None)

OPEN MEETINGS ACT - NEB.REV.STAT. CHAPTER 84, ARTICLE 14

Mayor Ewing stated: As required by State Law, public bodies shall make available at least one current copy of the Open Meetings Act posted in the meeting room. Agenda items may be moved up or down on the agenda at the discretion of the Mayor. As required by State Law, additions may not be made to this agenda less than 24 hours before the beginning of the meeting unless they are considered under this section of the agenda and the Council determines that the matter requires emergency action.

CONSENT AGENDA:

(Items under the Consent Agenda are proposed for adoption by one action for all items unless any member of Council requests that an item be considered separately.)

1. Approve minutes of the June 12, 2023 regular City Council meeting
2. Approve Claims
3. Approve May, 2023 Financial Report
4. File for record Consent and Acknowledgement by the City of Gering for the benefit of SE Municipal Solar, LLC and Solar Construction Lending, LLC

Claims 6/13/23 – 6/26/23

21ST CENTURY EQUIPMENT \$164.75, ACE HARDWARE \$301.83, ACUSHNET COMPANY \$1,595.09, ADIDAS AMERICA, INC \$43.04, AMAZON CAPITAL SERVICES \$241.03, AMERICAN BUS ASSOCIATION \$1,695.00, AT&T MOBILITY \$650.19, B & C STEEL \$11,949.24, B & H INVESTMENTS, INC \$77.50, BAD BIRDIE GOLF \$1,161.00, BEACON ATHLETICS, LLC \$174.00, BETTER CONTAINERS MFG.CO., INC \$262.86, BETTY CURTIS \$75.00, BLACK HILLS ENERGY \$3,113.31, BLUFFS FACILITY SOLUTIONS \$2,002.22, BRETHOURS HONEYWAGON EXPRESS \$200.00, CENGAGE LEARNING/GAGE \$23.99, CITY OF GERING \$580.20, CLARK PRINTING LLC \$837.30, CONSOLIDATED MANAGEMENT COMPAN \$99.25, CONTRACTORS MATERIALS, INC. \$105.50, CROELL, INC \$337.00, DANCING MAN MUSIC \$1,750.00, DOOLEY OIL \$256.50, DUTTON-LAINSON COMPANY \$1,029.72, EAKES INC \$123.08, ECOLAB \$250.56, ESC ENGINEERING \$660.00, FASTENAL COMPANY \$142.23, FAT BOYS TIRE & AUTO \$1,279.10, FIRST NATIONAL BANK OMAHA - POLICE \$550.00, FLORENTINO PALOMO \$20.00, FLOYD'S TRUCK CENTER, INC. \$572.39, FRANK PARTS COMPANY \$997.76, FYR-TEK, INC. \$873.30, GALLS, AN ARAMARK COMPANY \$1,035.43, GARCIA CHICOINE ENTERPRISES, INC \$3,557.10, GERING VALLEY PLUMBING & HTG., INC. \$500.00, GERING VOLUNTEER FIRE DEPT. \$339.95, GOLF AND SPORT SOLUTIONS, LLC \$1,556.35, GROUND UP CONSTRUCTION & CLEAN \$678.50, HACH COMPANY \$237.22, HARBOR FREIGHT TOOLS \$15.99, HAWKINS, INC. \$2,720.12, HEALTHBREAK, INC. \$595.00, HOMETOWN LEASING \$151.74, IDEAL LAUNDRY AND CLEANERS, INC. \$207.40, INDOFF INCORPORATED \$297.71, INGRAM LIBRARY SERVICES \$866.87, INTERNAL REVENUE SERVICE \$54,719.04, INTRALINKS, INC. \$1,138.00, IRBY TOOL & SAFETY \$373.03, JC GOLF ACCESSORIES \$655.22, JIRDON AGRI CHEMICALS, INC \$8,293.30, JOHN CRANE INC. \$1,545.13, JOHN HANCOCK USA \$15,479.60, JOHN HANCOCK USA FIRE \$729.00, JOHN HANCOCK USA POLICE \$8,211.88, KANSAS GOLF & TURF INC \$161.35, KENT EWING \$639.38, LEAGUE ASSOC./RISK MANAGEMENT \$2,061.10, LEE ENTERPRISES \$317.76, LOST RIVER SAND & GRAVEL, INC \$701.80, LUPE PALOMO \$20.00, M.C. SCHAFF & ASSOCIATES, INC. \$735.00, MASEK DISTRIBUTING INC \$2,370.00, MEAT SHOPPE \$30,517.10, MENARDS \$333.35, MUNICIPAL ENERGY AGENCY OF NE \$280,644.14, MUNICIPAL SUPPLY, INC. OF NE. \$349.97, NEBRASKA CHILD SUPPORT PAYMENT CENTE \$567.70, NEBRASKA DEPT OF REVENUE \$731.65, NEBRASKA DEPT. OF REVENUE \$55,364.30, NEBRASKA GOLF ASSOCIATION \$792.00, NEBRASKA MUNICIPAL POWER POOL \$3,165.00, NEBRASKA PUBLIC HEALTH ENVIRO LAB \$18.00, NEBRASKA PUBLIC POWER DISTRICT \$2,427.02, NEBRASKA RURAL RADIO ASSOC. \$583.18, NEBRASKA SAFETY AND FIRE EQUIPMENT, INC \$466.00, NEBRASKA TRAVEL ASSOCIATION \$300.00, NKC TIRE \$2,036.00, NORTHWEST PIPE FITTINGS, INC \$394.15, OCLC, INC. \$685.31, OLD WEST BALLOON FEST \$1,500.00, PANHANDLE COOP

ASSOCIATION \$16,914.15, PANHANDLE ENVIRONMENTAL SERVICE, INC. \$1,795.00, PANHANDLE HUMANE SOCIETY \$3,168.50, PATTLEN ENTERPRISES, INC \$119.50, PEACEFUL PRAIRIE NURSERY, INC. \$1,156.66, PETE'S QUICK LUBE \$73.98, POWERPLAN OIB \$1,129.33, PRECISION AIR \$100.00, PRINT BROKER \$1,441.92, PT HOSE AND BEARING \$1,594.62, PVB VISA \$10,216.63, QUADIENT LEASING USA \$840.00, REGIONAL CARE INC. \$53,254.78, RIVERSTONE BANK \$582.94, RON'S TOWING & RECOVERY, LLC \$200.00, RR DONNELLEY RECEIVABLES, INC. \$121.89, SANDBERG IMPLEMENT, INC. \$291.99, SARGENT DRILLING CO. \$23,771.43, SCB COUNTY REGISTER OF DEEDS \$10.00, SCB. COUNTY AMBULANCE SERVICE \$316.23, SCOTTS BLUFF CO. CONSOLIDATED \$90.00, SCOTTS BLUFF COUNTY \$81,247.00, SCOTTS BLUFF COUNTY COURT \$103.00, SCS ENGINEERS \$4,940.00, SENIOR CITIZENS CENTER \$1,200.00, SHANNON MURRAY \$75.00, SHAWNA WINCHELL \$950.00, SIMMONS OLSEN LAW FIRM, P.C. \$2,445.00, SIMON CONTRACTORS \$1,329.68, SOUTHWESTERN EQUIPMENT COMPANY \$1,809.70, STAPLES CREDIT PLAN \$199.99, STEVE BAIRD \$3,875.00, SUGAR VALLEY FEDERAL CREDIT \$528.37, TAYLOR MADE GOLF COMPANY \$349.16, TEAM CHEVROLET \$375.00, TERRY CARPENTER, INC. \$650.00, THE RADAR SHOP \$144.00, THE TORO COMPANY \$155.00, TIME MAGAZINE \$53.70, TITAN MACHINERY INC. \$395.61, TRAVELODGE \$1,053.00, TROY & LISA WEBORG \$77,668.59, UNANIMOUS, INC. \$210.00, UNITED WAY OF WESTERN NE \$200.00, VALLEY AUTO LOCATORS LLC \$127.12, WESCO RECEIVABLES CORP. \$6,432.75, WESTERN COOPERATIVE COMPANY \$335.46, YANDA'S MUSIC INC \$2,582.93, Total \$832,603.39

Motion by Councilmember Bohl to approve the Consent Agenda. Second by Councilmember Morrison. There was no discussion. Mayor Ewing called for the vote. "AYES": Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: Shields. Motion carried.

CURRENT BUSINESS:

1. Approve and authorize the Mayor to sign Interlocal Agreement by and between the City of Gering and Gering Public Schools regarding use of Council Chambers at Gering City Hall

Motion by Councilmember Morrison to approve and authorize the Mayor to sign an Interlocal Agreement by and between the City of Gering and Gering Public Schools regarding use of the Council Chambers at Gering City Hall. Second by Councilmember Wiedeman. There was no discussion. Mayor Ewing called for the vote. "AYES": Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: Shields. Motion carried.

2. Approve Application, Criteria and Guidelines for funding projects utilizing Lodging Occupation Taxes

Administrator Heath stated that the Gering CVB has worked hard on this over the last few years. The criteria, guidelines and application are in the packet. The Board believes that their recommendation is workable and not too restrictive. The overall goal is generating tourism visitations. Tourism Director, Karla Niedan-Streeks, stated that there is currently a little over \$230,000 in that fund. Lodging Occupation Taxes have been collected since 2019. Staff recommends approval of the criteria and guidelines. Councilmember Gillen stated that the major focus in collecting these funds is getting more heads on beds. That will be a huge consideration in the process and will be used in the evaluation process.

Councilmember Bohl asked about the 60/40 split and if they can cross-mingle. Ms. Niedan-Streeks replied that she believes that was the intent. The 60/40 in the guidelines was a recommendation only; if one is used more than the other, then they can use the other one. Councilmember Morrison asked how Keno Funds fit into this. Ms. Niedan-Streeks replied that applicants will be required to disclose other funding sources. There's nothing in the guidelines that will prohibit that, but the committee will be well aware of applicants' funding sources. Councilmember Gillen added that all recommendations will come to City Council for approval (just like Keno Funds).

Motion by Councilmember O'Neal to approve the Application, Criteria and Guidelines for funding projects utilizing Lodging Occupation Taxes. Second by Councilmember Gillen.

Discussion: Councilmember Gillen thanked Tourism Director, Karla Niedan-Streeks, for her time and effort on this project. Administrator Heath thanked the committee as well; this took a lot of time.

Mayor Ewing called for the vote. "AYES": Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: Shields. Motion carried.

3. Approve Resolution 6-23-1 regarding sidewalks at 2220 Westridge Drive

Administrator Heath stated this property had street and sidewalk settlement years ago. It was sold to a different owner. When the street was repaired, the owner did not put the sidewalk back in. The City has had numerous complaints regarding this lot not having a sidewalk. The owner has been notified in writing and verbally. Staff have not had success getting a hold of them, especially lately. Per code, staff are required to go through Council to pass a resolution for someone to put a sidewalk in. Staff will try to work with the property owner to get it in. The resolution allows City staff to give them one final notification.

RESOLUTION 6-23-1 Gering, Nebraska

Be It Resolved by the Mayor and Council of the City of Gering, Nebraska:

1. That a sidewalk be constructed within 30 days from and after the service or publication of the within resolution. The sidewalk shall be constructed and laid to the established grade on the east side of Westridge Drive in the City of Gering, Scotts Bluff County, Nebraska, adjoining the following described premises, to-wit:

Lot 2, Block 3, Replat Canyon Estates Addition to the City of Gering, Scotts Bluff County

in accordance with the following specifications, to-wit:

See Exhibit A

Under the supervision of the Mayor and Council of the City of Gering, Scotts Bluff County, Nebraska, its City Engineer or other agent, and in accordance with the provisions of §§ 95.40 through 95.54.

2. That in the event of the failure of the owner or his or her agent to have such walk constructed, the Mayor and Council of the City will cause the same to be constructed and the entire cost of construction thereof will be taxed as a special assessment against the within described premises as provided by law.
3. The City Engineer's estimate for the construction of the work of improvement is Four Thousand Six Hundred Fifty (\$4,650) Dollars.

Passed and approved this 26th day of June, 2023.

Mayor

Attest:

City Clerk

(SEAL)

Motion by Councilmember Morrison to approve Resolution 6-23-1 regarding sidewalks at 2220 Westridge Drive. Second by Councilmember Gillen. There was no discussion. Mayor Ewing called for the vote. "AYES": Shields, Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: None. Motion carried.

4. Approve and authorize the Mayor to sign First Amendment to Power Purchase Agreement by and between the City of Gering (Buyer) and SE Municipal Solar, LLC (Seller)

Administrator Heath stated that Council approved the Power Purchase Agreement last fall. Since then, Sandhills Energy discovered that there was a Scrivener's error on two of the 16 contracts they prepared; Gering's was one of them. The Guaranteed Commercial Operation date should be December 31, 2024, not December 31, 2023. This amendment corrects that; staff recommends approval.

Motion by Councilmember Gillen to approve and authorize the Mayor to sign First Amendment to Power Purchase Agreement by and between the City of Gering (Buyer) and SE Municipal Solar, LLC (Seller). Second by Councilmember Bohl. There was no discussion. Mayor Ewing called for the vote. "AYES": Shields, Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: None. Motion carried.

5. Approve and authorize the Mayor to sign Transformer Purchase Agreement by and between SE Construction, LLC and the City of Gering

Administrator Heath stated this is another agreement with Sandhills Energy on the purchase of a transformer for the solar project. It will be a transformer for both the City (for our portion of the solar we generate) and also Sandhills for the portion they generate for MEAN or other purchasers. The City's percentage is 27.8% of the cost of the transformer. The total cost of the transformer is around \$200,000. The City's total cost will be \$55,600. This is also spelled out in the Interconnection Agreement and is part of what the City agreed to last year when those agreements were approved for the solar project. It's staff's recommendation that Council approve the agreement. City Attorney Ellison noted that in paragraph three, the fifth line, it says April 1, 2023. It should say April 1, 2024.

Motion by Councilmember Morrison to approve and authorize the Mayor to sign the Transformer Purchase Agreement by and between SE Construction, LLC and the City of Gering. Second by Councilmember Wiedeman.

Discussion: Councilmember Gillen asked to clarify that it's being approved with Mr. Ellison's recommendation. Administrator Heath replied that it would be approved with the amendment that was pointed out by City Attorney Ellison.

Mayor Ewing called for the vote. "AYES": Shields, Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: None. Motion carried.

OPEN COMMENT: Mayor Ewing stated that discussion or action by Council regarding unscheduled business will not take place. This section is for citizen comment only.

Mayor Ewing and Administrator Heath commended City staff for their forethought and actions before, during and after the recent severe storms of June 23. Amy Seiler, Chief Holthus and Chief Flowers did a great job mitigating risk and protecting the public along with other staff and volunteer firefighters.

ADJOURN:

Motion by Councilmember Gillen to adjourn. Second by Councilmember Bohl. There was no discussion. Mayor Ewing called for the vote. "AYES": Shields, Gillen, Backus, Bohl, Wiedeman, O'Neal, Morrison, Cowan. "NAYS": None. Abstaining: None. Absent: None. Motion carried.

The meeting adjourned at 6:19 p.m.

Kent E. Ewing, Mayor

ATTEST:

Kathleen J. Welfl, City Clerk



City of Gering, NE

CLAIMS REPORT

By Vendor Name

Post Dates 6/27/2023 - 7/10/2023
Payment Dates 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 998163 - 21ST CENTURY EQUIPMENT		
Fund: 101 - GENERAL		
Department: 42 - Parks		
MOWER REPAIR SENSOR	VEH & EQUIPMENT MAINT	283.88
SOLENOID VALVE	VEH & EQUIPMENT MAINT	167.55
		Department 42 - Parks Total: 451.43
		Fund 101 - GENERAL Total: 451.43
		Vendor 998163 - 21ST CENTURY EQUIPMENT Total: 451.43
Vendor: 998460 - 24/7 FITNESS		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
MONTHLY MEMBERSHIP DUES	24/7 FITNESS PAYABLE	226.00
		Department 02 - Liability Total: 226.00
		Fund 997 - PAYROLL FUND Total: 226.00
		Vendor 998460 - 24/7 FITNESS Total: 226.00
Vendor: 999442 - ACE HARDWARE		
Fund: 101 - GENERAL		
Department: 32 - Police		
FAN FOR SERVER	DEPT OPERATING SUPPLIES	69.98
TOTES FOR EVIDENCE ROOM ...	OFFICE & BUILDING SUPPLIES	59.96
		Department 32 - Police Total: 129.94
Department: 41 - Pool		
DRAIN PLUG	DEPT OPERATING SUPPLIES	9.99
PAINT FOR POOL	DEPT OPERATING SUPPLIES	22.59
BABY POOL DRAIN REPAIR	BUILDING/GROUND MAINT	1.00
POOL REPAIR	BUILDING/GROUND MAINT	12.18
		Department 41 - Pool Total: 45.76
Department: 42 - Parks		
ZIP TIES	DEPT OPERATING SUPPLIES	15.99
SOLENOID	BUILDING/GROUND MAINT	14.99
		Department 42 - Parks Total: 30.98
		Fund 101 - GENERAL Total: 206.68
Fund: 110 - RV PARK		
Department: 06 - Expense		
MARKING FLAGS	DEPT OPERATING SUPPLIES	13.99
		Department 06 - Expense Total: 13.99
		Fund 110 - RV PARK Total: 13.99
		Vendor 999442 - ACE HARDWARE Total: 220.67
Vendor: 998228 - ACUSHNET COMPANY		
Fund: 205 - GOLF		
Department: 06 - Expense		
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	1,034.88
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	362.43
		Department 06 - Expense Total: 1,397.31
		Fund 205 - GOLF Total: 1,397.31
		Vendor 998228 - ACUSHNET COMPANY Total: 1,397.31

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 998780 - ADIDAS AMERICA, INC		
Fund: 205 - GOLF		
Department: 06 - Expense		
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	69.40
		Department 06 - Expense Total: 69.40
		Fund 205 - GOLF Total: 69.40
		Vendor 998780 - ADIDAS AMERICA, INC Total: 69.40
 Vendor: 111500 - ALLO COMMUNICATIONS		
Fund: 101 - GENERAL		
Department: 10 - Administration		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	410.90
		Department 10 - Administration Total: 410.90
Department: 22 - Eng/Bldg Inspection		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	1.98
		Department 22 - Eng/Bldg Inspection Total: 1.98
Department: 31 - Fire		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	125.16
		Department 31 - Fire Total: 125.16
Department: 32 - Police		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	157.93
		Department 32 - Police Total: 157.93
Department: 34 - Cemetery		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	90.02
		Department 34 - Cemetery Total: 90.02
Department: 41 - Pool		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	146.13
		Department 41 - Pool Total: 146.13
Department: 42 - Parks		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	174.68
		Department 42 - Parks Total: 174.68
Department: 44 - Library		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	160.98
		Department 44 - Library Total: 160.98
		Fund 101 - GENERAL Total: 1,267.78
 Fund: 109 - TOURISM		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	73.03
		Department 06 - Expense Total: 73.03
		Fund 109 - TOURISM Total: 73.03
 Fund: 110 - RV PARK		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	221.63
		Department 06 - Expense Total: 221.63
		Fund 110 - RV PARK Total: 221.63
 Fund: 130 - STREETS		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	88.89
		Department 06 - Expense Total: 88.89
		Fund 130 - STREETS Total: 88.89
 Fund: 201 - ELECTRIC		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	247.06
		Department 06 - Expense Total: 247.06
		Fund 201 - ELECTRIC Total: 247.06

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Fund: 202 - WATER		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	113.73
		Department 06 - Expense Total: 113.73
		Fund 202 - WATER Total: 113.73
 Fund: 203 - WASTEWATER		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	123.20
		Department 06 - Expense Total: 123.20
		Fund 203 - WASTEWATER Total: 123.20
 Fund: 204 - SANITATION		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	55.60
		Department 06 - Expense Total: 55.60
		Fund 204 - SANITATION Total: 55.60
 Fund: 205 - GOLF		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	379.59
		Department 06 - Expense Total: 379.59
		Fund 205 - GOLF Total: 379.59
 Fund: 207 - CIVIC CENTER		
Department: 06 - Expense		
MONTHLY PHONE AND INTER...	PHONE & INTERNET	649.14
		Department 06 - Expense Total: 649.14
		Fund 207 - CIVIC CENTER Total: 649.14
		Vendor 111500 - ALLO COMMUNICATIONS Total: 3,219.65
 Vendor: 118900 - AMAZON CAPITAL SERVICES		
Fund: 101 - GENERAL		
Department: 10 - Administration		
8 TAB DIVIDERS - HR	OFFICE & BUILDING SUPPLIES	17.12
		Department 10 - Administration Total: 17.12
Department: 22 - Eng/Bldg Inspection		
Jeff pickup- bluetooth for pho...	VEH & EQUIP MAINT	172.98
		Department 22 - Eng/Bldg Inspection Total: 172.98
Department: 42 - Parks		
STENS GOVERNER SPRING/ C...	VEH & EQUIPMENT MAINT	58.38
		Department 42 - Parks Total: 58.38
		Fund 101 - GENERAL Total: 248.48
		Vendor 118900 - AMAZON CAPITAL SERVICES Total: 248.48
 Vendor: 10126 - AMERICAN BUTTON MACHINES		
Fund: 101 - GENERAL		
Department: 44 - Library		
1 order of button materials	DEPT OPERATING SUPPLIES	55.35
		Department 44 - Library Total: 55.35
		Fund 101 - GENERAL Total: 55.35
		Vendor 10126 - AMERICAN BUTTON MACHINES Total: 55.35
 Vendor: 997877 - AMERITAS LIFE INSURANCE COPR.		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	VISION INS PAYABLE	581.28
		Department 02 - Liability Total: 581.28
		Fund 997 - PAYROLL FUND Total: 581.28
		Vendor 997877 - AMERITAS LIFE INSURANCE COPR. Total: 581.28

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 125650 - APPLIED CONCEPTS, INC.		
Fund: 114 - PUBLIC SAFETY		
Department: 32 - Police		
RADAR UNIT NEW VEHICLE	CAPITAL OUTLAY EQUIPMENT	136.00
RADAR UNIT - NEW VEHICLE	CAPITAL OUTLAY EQUIPMENT	4,895.00
		Department 32 - Police Total: 5,031.00
		Fund 114 - PUBLIC SAFETY Total: 5,031.00
		Vendor 125650 - APPLIED CONCEPTS, INC. Total: 5,031.00
Vendor: 999613 - AT&T MOBILITY		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
ON CALL PHONES/TABLETS	PHONE & INTERNET	-123.70
		Department 06 - Expense Total: -123.70
		Fund 201 - ELECTRIC Total: -123.70
Fund: 202 - WATER		
Department: 06 - Expense		
ON CALL PHONES/TABLETS	PHONE & INTERNET	-123.69
		Department 06 - Expense Total: -123.69
		Fund 202 - WATER Total: -123.69
		Vendor 999613 - AT&T MOBILITY Total: -247.39
Vendor: 999124 - ATLAS		
Fund: 101 - GENERAL		
Department: 32 - Police		
VEST CARRIER C.YBARRA	UNIFORMS/PPE	305.00
		Department 32 - Police Total: 305.00
		Fund 101 - GENERAL Total: 305.00
		Vendor 999124 - ATLAS Total: 305.00
Vendor: 999367 - AULICK INDUSTIRES		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Dumpster Hooks	CONTAINERS	2,400.00
		Department 06 - Expense Total: 2,400.00
		Fund 204 - SANITATION Total: 2,400.00
		Vendor 999367 - AULICK INDUSTIRES Total: 2,400.00
Vendor: 10181 - AVERT INDUSTRIES		
Fund: 101 - GENERAL		
Department: 32 - Police		
LESS LETHAL PROJECTILE	FIREARM SUPPLIES	441.00
		Department 32 - Police Total: 441.00
		Fund 101 - GENERAL Total: 441.00
		Vendor 10181 - AVERT INDUSTRIES Total: 441.00
Vendor: 996797 - BAKER & ASSOCIATES, INC.		
Fund: 150 - KENO		
Department: 06 - Expense		
PICKLEBALL TESTING	CAPITAL IMPROVEMENTS	900.00
		Department 06 - Expense Total: 900.00
		Fund 150 - KENO Total: 900.00
		Vendor 996797 - BAKER & ASSOCIATES, INC. Total: 900.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 10188 - BARBARA ANDERSON		
Fund: 101 - GENERAL		
Department: 04 - Revenue		
REFUND OF PERMIT G23-027...	BUILDING PERMITS	55.00
		Department 04 - Revenue Total: 55.00
		Fund 101 - GENERAL Total: 55.00
		Vendor 10188 - BARBARA ANDERSON Total: 55.00
 Vendor: 163150 - BENZEL PEST CONTROL		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Pest Control Fire Station	BUILDING/GROUND MAINT	56.71
		Department 31 - Fire Total: 56.71
		Fund 101 - GENERAL Total: 56.71
 Fund: 204 - SANITATION		
Department: 06 - Expense		
Pest Control Around buildings	BUILDING/GROUND MAINT	165.00
		Department 06 - Expense Total: 165.00
		Fund 204 - SANITATION Total: 165.00
		Vendor 163150 - BENZEL PEST CONTROL Total: 221.71
 Vendor: 997725 - BIG MACK HEATING & COOLING		
Fund: 101 - GENERAL		
Department: 42 - Parks		
PIONEERS STADIUM MECHAN...	BUILDING/GROUND MAINT	176.00
		Department 42 - Parks Total: 176.00
		Fund 101 - GENERAL Total: 176.00
		Vendor 997725 - BIG MACK HEATING & COOLING Total: 176.00
 Vendor: 999209 - BLUFFS FACILITY SOLUTIONS		
Fund: 101 - GENERAL		
Department: 10 - Administration		
PAPER TOWELS	OFFICE & BUILDING SUPPLIES	86.00
TOILET PAPER	OFFICE & BUILDING SUPPLIES	65.84
		Department 10 - Administration Total: 151.84
 Department: 32 - Police		
TOILET PAPER	OFFICE & BUILDING SUPPLIES	65.85
		Department 32 - Police Total: 65.85
 Department: 41 - Pool		
ACID GALLON/BOWL CLEANER	DEPT OPERATING SUPPLIES	192.06
		Department 41 - Pool Total: 192.06
 Department: 42 - Parks		
TOWEL ROLL	DEPT OPERATING SUPPLIES	220.14
T.T JUMBO	DEPT OPERATING SUPPLIES	97.04
T.T JUMBO	OFFICE & BUILDING SUPPLIES	48.52
SWEEPING COMPOUND/TOW...	BUILDING/GROUND MAINT	39.32
		Department 42 - Parks Total: 405.02
		Fund 101 - GENERAL Total: 814.77
 Fund: 205 - GOLF		
Department: 06 - Expense		
BATH TISSUE	OFFICE & BUILDING SUPPLIES	191.13
		Department 06 - Expense Total: 191.13
		Fund 205 - GOLF Total: 191.13
		Vendor 999209 - BLUFFS FACILITY SOLUTIONS Total: 1,005.90

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 998841 - BORDER STATES INDUSTRIES, INC		
Fund: 110 - RV PARK		
Department: 06 - Expense		
ELECTRICAL ITEMS	BUILDING/GROUND MAINT	16.25
		Department 06 - Expense Total: 16.25
		Fund 110 - RV PARK Total: 16.25
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
P.T. for Ballpark Sub	CAPITAL IMPROVEMENTS	3,633.50
C.T. for Ballpark Sub	CAPITAL IMPROVEMENTS	3,499.13
knife,step bit	DEPT OPERATING SUPPLIES	227.61
wire cutter	DEPT OPERATING SUPPLIES	454.96
		Department 06 - Expense Total: 7,815.20
		Fund 201 - ELECTRIC Total: 7,815.20
		Vendor 998841 - BORDER STATES INDUSTRIES, INC Total: 7,831.45
Vendor: 230150 - CALLAWAY GOLF COMPANY		
Fund: 205 - GOLF		
Department: 06 - Expense		
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	440.50
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	45.00
		Department 06 - Expense Total: 485.50
		Fund 205 - GOLF Total: 485.50
		Vendor 230150 - CALLAWAY GOLF COMPANY Total: 485.50
Vendor: 396325 - CENGAGE LEARNING/GAGE		
Fund: 101 - GENERAL		
Department: 44 - Library		
2 books-adult services LP	BOOKS	43.18
		Department 44 - Library Total: 43.18
		Fund 101 - GENERAL Total: 43.18
		Vendor 396325 - CENGAGE LEARNING/GAGE Total: 43.18
Vendor: 252625 - CITY OF GERING		
Fund: 204 - SANITATION		
Department: 01 - Asset		
GERING/SCB SINKING FUND	CASH - JOINT LANDFILL SINKI...	21,797.48
		Department 01 - Asset Total: 21,797.48
		Fund 204 - SANITATION Total: 21,797.48
		Vendor 252625 - CITY OF GERING Total: 21,797.48
Vendor: 997916 - CONSOLIDATED MANAGEMENT COMPAN		
Fund: 101 - GENERAL		
Department: 32 - Police		
MEALS B.MARTINEZ K9 CAMP	TRAINING & CONFERENCES	66.00
		Department 32 - Police Total: 66.00
		Fund 101 - GENERAL Total: 66.00
		Vendor 997916 - CONSOLIDATED MANAGEMENT COMPAN Total: 66.00
Vendor: 272700 - CONTRACTORS MATERIALS, INC.		
Fund: 101 - GENERAL		
Department: 22 - Eng/Bldg Inspection		
Survey flags	DEPT OPERATING SUPPLIES	32.00
		Department 22 - Eng/Bldg Inspection Total: 32.00
Department: 41 - Pool		
GREY CAULK	BUILDING/GROUND MAINT	46.00
		Department 41 - Pool Total: 46.00
		Fund 101 - GENERAL Total: 78.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Fund: 130 - STREETS		
Department: 06 - Expense		
ADA Panel	STREET MAINTENANCE & REP...	125.00
Department 06 - Expense Total:		125.00
Fund 130 - STREETS Total:		125.00
Vendor 272700 - CONTRACTORS MATERIALS, INC. Total:		203.00
Vendor: 289500 - CRESCENT ELECTRIC SUPPLY CO.		
Fund: 101 - GENERAL		
Department: 34 - Cemetery		
4-FUSES	BUILDING/GROUND MAINT	84.84
Department 34 - Cemetery Total:		84.84
Fund 101 - GENERAL Total:		84.84
Vendor 289500 - CRESCENT ELECTRIC SUPPLY CO. Total:		84.84
Vendor: 998976 - CROSSCOUNTRY COURIER INC		
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
1B Pump	REPAIRS-WWTP	460.96
Department 06 - Expense Total:		460.96
Fund 203 - WASTEWATER Total:		460.96
Vendor 998976 - CROSSCOUNTRY COURIER INC Total:		460.96
Vendor: 303400 - DANKO EMERGENCY EQUIPMENT CO		
Fund: 107 - SINKING		
Department: 06 - Expense		
CHASSIS - NEW RESCUE UNIT ...	CAPITAL OUTLAY	65,947.00
Department 06 - Expense Total:		65,947.00
Fund 107 - SINKING Total:		65,947.00
Vendor 303400 - DANKO EMERGENCY EQUIPMENT CO Total:		65,947.00
Vendor: 377800 - DEARBORN LIFE INSURANCE COMPAN		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Vol FF Life Insurance	FF/EMT INCENTIVE	137.60
Department 31 - Fire Total:		137.60
Fund 101 - GENERAL Total:		137.60
Vendor 377800 - DEARBORN LIFE INSURANCE COMPAN Total:		137.60
Vendor: 996530 - DOCU-SHRED LLC		
Fund: 101 - GENERAL		
Department: 10 - Administration		
PAPER SHREDDING	OTHER PROFESSIONAL SERVIC...	30.00
Department 10 - Administration Total:		30.00
Fund 101 - GENERAL Total:		30.00
Vendor 996530 - DOCU-SHRED LLC Total:		30.00
Vendor: 997120 - DOOLEY OIL		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Oil for LaFrance	VEH & EQUIPMENT MAINT	18.26
Department 31 - Fire Total:		18.26
Fund 101 - GENERAL Total:		18.26
Vendor 997120 - DOOLEY OIL Total:		18.26
Vendor: 337880 - DUTTON-LAINSON COMPANY		
Fund: 201 - ELECTRIC		
Department: 01 - Asset		
terminater	INVENTORY	742.72

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
fuses	INVENTORY	158.03
		Department 01 - Asset Total: 900.75
		Fund 201 - ELECTRIC Total: 900.75
		Vendor 337880 - DUTTON-LAINSON COMPANY Total: 900.75
Vendor: 999002 - EAKES INC		
Fund: 101 - GENERAL		
Department: 10 - Administration		
STENO NOTEBOOKS	OFFICE & BUILDING SUPPLIES	8.97
MARKERS/PENS/STENO NOTE...	OFFICE & BUILDING SUPPLIES	72.00
		Department 10 - Administration Total: 80.97
		Fund 101 - GENERAL Total: 80.97
		Vendor 999002 - EAKES INC Total: 80.97
Vendor: 343295 - ECOLAB		
Fund: 109 - TOURISM		
Department: 06 - Expense		
Pest Control at 5 Rocks	EQUIPMENT MAINT	31.05
		Department 06 - Expense Total: 31.05
		Fund 109 - TOURISM Total: 31.05
		Vendor 343295 - ECOLAB Total: 31.05
Vendor: 999057 - ELITE TOTAL FITNESS		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
MONTHLY MEMBERSHIP DUES	ELITE HEALTH PAYABLE	112.00
		Department 02 - Liability Total: 112.00
		Fund 997 - PAYROLL FUND Total: 112.00
		Vendor 999057 - ELITE TOTAL FITNESS Total: 112.00
Vendor: 363755 - FASTENAL COMPANY		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
gloves,batteries	DEPT OPERATING SUPPLIES	108.51
gloves, eyewear	DEPT OPERATING SUPPLIES	60.23
		Department 06 - Expense Total: 168.74
		Fund 201 - ELECTRIC Total: 168.74
		Vendor 363755 - FASTENAL COMPANY Total: 168.74
Vendor: 364200 - FEDEX		
Fund: 202 - WATER		
Department: 06 - Expense		
Shipping Fee	LAB SERVICE	30.00
		Department 06 - Expense Total: 30.00
		Fund 202 - WATER Total: 30.00
		Vendor 364200 - FEDEX Total: 30.00
Vendor: 998633 - FIRST NATIONAL BANK OMAHA - POLICE		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	POLICE UNION DUES PAYABLE	550.00
		Department 02 - Liability Total: 550.00
		Fund 997 - PAYROLL FUND Total: 550.00
		Vendor 998633 - FIRST NATIONAL BANK OMAHA - POLICE Total: 550.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 374900 - FLOYD'S TRUCK CENTER, INC.		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Diagnose unit 30 electricl prob...	VEH & EQUIPMENT MAINT	815.85
		Department 31 - Fire Total: 815.85
		Fund 101 - GENERAL Total: 815.85
Fund: 204 - SANITATION		
Department: 06 - Expense		
Hood Latch G13	COLLECTIONS EQUIP MAINT	118.60
Filters for G13	FUEL, FILTERS & TIRES	500.24
Park Brake Valve G10	COLLECTIONS EQUIP MAINT	194.08
Brake Parts G10	COLLECTIONS EQUIP MAINT	57.49
		Department 06 - Expense Total: 870.41
		Fund 204 - SANITATION Total: 870.41
Vendor 374900 - FLOYD'S TRUCK CENTER, INC. Total: 1,686.26		
Vendor: 998694 - FRANK PARTS COMPANY		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Oil change for unit 61	VEH & EQUIPMENT MAINT	36.13
		Department 31 - Fire Total: 36.13
		Fund 101 - GENERAL Total: 36.13
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
splash guard	VEH & EQUIPMENT MAINT	37.57
		Department 06 - Expense Total: 37.57
		Fund 201 - ELECTRIC Total: 37.57
Fund: 202 - WATER		
Department: 06 - Expense		
Shop supplies	DEPT OPERATING SUPPLIES	11.06
202-102	VEH & EQUIPMENT MAINT	103.03
		Department 06 - Expense Total: 114.09
		Fund 202 - WATER Total: 114.09
Fund: 204 - SANITATION		
Department: 06 - Expense		
Oil and Filter and car wash	FUEL, FILTERS & TIRES	63.43
Headlight harness and Fuel p...	DEPT OPERATING SUPPLIES	111.77
		Department 06 - Expense Total: 175.20
		Fund 204 - SANITATION Total: 175.20
Vendor 998694 - FRANK PARTS COMPANY Total: 362.99		
Vendor: 998313 - FRASER STRYKER PC LLO		
Fund: 101 - GENERAL		
Department: 10 - Administration		
CIR OPINION LETTER	OTHER PROFESSIONAL SERVIC...	129.00
		Department 10 - Administration Total: 129.00
		Fund 101 - GENERAL Total: 129.00
Vendor 998313 - FRASER STRYKER PC LLO Total: 129.00		
Vendor: 403560 - GENERAL TRAFFIC CONTROLS, INC.		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
controller repair	TRAFFIC CONTROL SIGNALS	175.00
		Department 06 - Expense Total: 175.00
		Fund 201 - ELECTRIC Total: 175.00
Vendor 403560 - GENERAL TRAFFIC CONTROLS, INC. Total: 175.00		

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 405850 - GERING VALLEY PLUMBING & HTG., INC.		
Fund: 207 - CIVIC CENTER		
Department: 06 - Expense		
REPAIR VEGGIE COOLER	EQUIP MAINT & REPAIR	2,378.80
		Department 06 - Expense Total: 2,378.80
		Fund 207 - CIVIC CENTER Total: 2,378.80
		Vendor 405850 - GERING VALLEY PLUMBING & HTG., INC. Total: 2,378.80
Vendor: 997565 - GREGORY'S LOCK SHOP LLC		
Fund: 101 - GENERAL		
Department: 42 - Parks		
OVERHEAD DOOR REPAIR	BUILDING/GROUND MAINT	122.84
		Department 42 - Parks Total: 122.84
		Fund 101 - GENERAL Total: 122.84
		Vendor 997565 - GREGORY'S LOCK SHOP LLC Total: 122.84
Vendor: 459400 - HAWKINS, INC.		
Fund: 101 - GENERAL		
Department: 41 - Pool		
POOL SUPPLIES	DEPT OPERATING SUPPLIES	2,996.08
		Department 41 - Pool Total: 2,996.08
		Fund 101 - GENERAL Total: 2,996.08
		Vendor 459400 - HAWKINS, INC. Total: 2,996.08
Vendor: 998686 - HERTZBERG-NEW METHOD, INC		
Fund: 101 - GENERAL		
Department: 44 - Library		
3 books-youth services	BOOKS	52.06
		Department 44 - Library Total: 52.06
		Fund 101 - GENERAL Total: 52.06
		Vendor 998686 - HERTZBERG-NEW METHOD, INC Total: 52.06
Vendor: 510400 - IDEAL LAUNDRY AND CLEANERS, INC.		
Fund: 101 - GENERAL		
Department: 10 - Administration		
MATS-CITY HALL	BUILDING/GROUND MAINT	65.54
		Department 10 - Administration Total: 65.54
Department: 44 - Library		
Monthly cleaning supplies	OFFICE & BUILDING SUPPLIES	36.09
		Department 44 - Library Total: 36.09
		Fund 101 - GENERAL Total: 101.63
Fund: 204 - SANITATION		
Department: 06 - Expense		
Rugs for office	BUILDING/GROUND MAINT	53.05
		Department 06 - Expense Total: 53.05
		Fund 204 - SANITATION Total: 53.05
Fund: 205 - GOLF		
Department: 06 - Expense		
MATS	OFFICE & BUILDING SUPPLIES	19.42
		Department 06 - Expense Total: 19.42
		Fund 205 - GOLF Total: 19.42
		Vendor 510400 - IDEAL LAUNDRY AND CLEANERS, INC. Total: 174.10
Vendor: 511900 - INDEPENDENT PLUMBING & HEATING		
Fund: 101 - GENERAL		
Department: 42 - Parks		
SPRINKLER REPAIR	BUILDING/GROUND MAINT	1.70

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
VALVE PLAZA DRIP SYSTEM	BUILDING/GROUND MAINT	21.10
	Department 42 - Parks Total:	22.80
	Fund 101 - GENERAL Total:	22.80
	Vendor 511900 - INDEPENDENT PLUMBING & HEATING Total:	22.80
 Vendor: 998734 - INDOFF INCORPORATED		
Fund: 101 - GENERAL		
Department: 10 - Administration		
PRINTER INK	OFFICE & BUILDING SUPPLIES	45.99
FLASH DRIVES	OFFICE & BUILDING SUPPLIES	73.96
	Department 10 - Administration Total:	119.95
 Department: 22 - Eng/Bldg Inspection		
Printer ink- Jeff	DEPT OPERATING SUPPLIES	189.96
	Department 22 - Eng/Bldg Inspection Total:	189.96
	Fund 101 - GENERAL Total:	309.91
 Fund: 204 - SANITATION		
Department: 06 - Expense		
Draw slide rails	OFFICE & BUILDING SUPPLIES	25.00
Paper, Toners and ink cartridg...	OFFICE & BUILDING SUPPLIES	659.61
	Department 06 - Expense Total:	684.61
	Fund 204 - SANITATION Total:	684.61
	Vendor 998734 - INDOFF INCORPORATED Total:	994.52
 Vendor: 512270 - INGRAM LIBRARY SERVICES		
Fund: 101 - GENERAL		
Department: 44 - Library		
2 books-youth services	BOOKS	28.87
1 book-adult services NF	BOOKS	26.14
11 books-adult services NF	BOOKS	196.90
1 book-adult service NF	BOOKS	17.68
1 book-adult services	BOOKS	15.37
22 books-adult services	BOOKS	359.91
4 books-adult services	BOOKS	71.64
	Department 44 - Library Total:	716.51
	Fund 101 - GENERAL Total:	716.51
	Vendor 512270 - INGRAM LIBRARY SERVICES Total:	716.51
 Vendor: 512618 - INTERNAL REVENUE SERVICE		
Fund: 800 - HEALTH INSURANCE		
Department: 06 - Expense		
2022 PCORI FEES	TAX EXPENSE	588.69
	Department 06 - Expense Total:	588.69
	Fund 800 - HEALTH INSURANCE Total:	588.69
 Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
941 Deposit	FICA PAYABLE	27,577.86
941 Deposit	FEDERAL W/H PAYABLE	15,029.36
941 Deposit	FICA PAYABLE	6,545.48
	Department 02 - Liability Total:	49,152.70
	Fund 997 - PAYROLL FUND Total:	49,152.70
	Vendor 512618 - INTERNAL REVENUE SERVICE Total:	49,741.39
 Vendor: 996536 - INTRALINKS, INC.		
Fund: 101 - GENERAL		
Department: 10 - Administration		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	464.00
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	376.00
	Department 10 - Administration Total:	840.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Department: 22 - Eng/Bldg Inspection		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	116.00
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	94.00
		Department 22 - Eng/Bldg Inspection Total: 210.00
Department: 31 - Fire		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		Department 31 - Fire Total: 131.25
Department: 32 - Police		
IT SERVICES	IT SUPPORT	569.97
IT SERVICES	IT SUPPORT	600.00
IT SERVICES	IT SUPPORT	125.00
		Department 32 - Police Total: 1,294.97
Department: 34 - Cemetery		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	29.00
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	23.50
		Department 34 - Cemetery Total: 52.50
Department: 42 - Parks		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	29.00
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	23.50
		Department 42 - Parks Total: 52.50
Fund: 109 - TOURISM		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	GVB EQUIPMENT MAINT	29.00
BLOCK PURCHASE-SERVICE C...	GVB EQUIPMENT MAINT	23.50
		Department 06 - Expense Total: 52.50
		Fund 109 - TOURISM Total: 52.50
Fund: 110 - RV PARK		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	29.00
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	23.50
		Department 06 - Expense Total: 52.50
		Fund 110 - RV PARK Total: 52.50
Fund: 130 - STREETS		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	101.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	82.25
		Department 06 - Expense Total: 183.75
		Fund 130 - STREETS Total: 183.75
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
Battery Back-up	IT SUPPORT	79.99
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		Department 06 - Expense Total: 211.24
		Fund 201 - ELECTRIC Total: 211.24
Fund: 202 - WATER		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		Department 06 - Expense Total: 131.25
		Fund 202 - WATER Total: 131.25

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		131.25
		Department 06 - Expense Total:
		131.25
		Fund 203 - WASTEWATER Total:
		131.25
Fund: 204 - SANITATION		
Department: 06 - Expense		
Video Monitor for Steve's Co...	IT SUPPORT	247.63
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	217.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	176.25
		641.38
		Department 06 - Expense Total:
		641.38
		Fund 204 - SANITATION Total:
		641.38
Fund: 205 - GOLF		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		131.25
		Department 06 - Expense Total:
		131.25
		Fund 205 - GOLF Total:
		131.25
Fund: 207 - CIVIC CENTER		
Department: 06 - Expense		
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	72.50
BLOCK PURCHASE-SERVICE C...	IT SUPPORT	58.75
		131.25
		Department 06 - Expense Total:
		131.25
		Fund 207 - CIVIC CENTER Total:
		131.25
		Vendor 996536 - INTRALINKS, INC. Total:
		4,247.59
Vendor: 996492 - IRBY TOOL & SAFETY		
Fund: 201 - ELECTRIC		
Department: 01 - Asset		
splice	INVENTORY	56.44
		56.44
		Department 01 - Asset Total:
		56.44
		Fund 201 - ELECTRIC Total:
		56.44
		Vendor 996492 - IRBY TOOL & SAFETY Total:
		56.44
Vendor: 523200 - JIRDON AGRI CHEMICALS, INC		
Fund: 130 - STREETS		
Department: 06 - Expense		
Weed Spray	DEPT OPERATING SUPPLIES	870.40
		870.40
		Department 06 - Expense Total:
		870.40
		Fund 130 - STREETS Total:
		870.40
Fund: 205 - GOLF		
Department: 06 - Expense		
DEFOAMER, HERBICIDE	FERTILIZER & CHEMICALS	2,319.69
		2,319.69
		Department 06 - Expense Total:
		2,319.69
		Fund 205 - GOLF Total:
		2,319.69
		Vendor 523200 - JIRDON AGRI CHEMICALS, INC Total:
		3,190.09
Vendor: 999393 - JOHN HANCOCK USA FIRE		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	PENSION PAYABLE	725.54
		725.54
		Department 02 - Liability Total:
		725.54
		Fund 997 - PAYROLL FUND Total:
		725.54
		Vendor 999393 - JOHN HANCOCK USA FIRE Total:
		725.54

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 999136 - JOHN HANCOCK USA POLICE		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	PENSION PAYABLE	7,166.27
		<u>7,166.27</u>
		Department 02 - Liability Total:
		7,166.27
		<u>7,166.27</u>
		Fund 997 - PAYROLL FUND Total:
		7,166.27
		<u>7,166.27</u>
		Vendor 999136 - JOHN HANCOCK USA POLICE Total:
		7,166.27
Vendor: 996767 - JOHN HANCOCK USA		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	PENSION PAYABLE	228.36
PAYROLL CLAIMS	PENSION PAYABLE	15,419.90
		<u>15,419.90</u>
		Department 02 - Liability Total:
		15,648.26
		<u>15,648.26</u>
		Fund 997 - PAYROLL FUND Total:
		15,648.26
		<u>15,648.26</u>
		Vendor 996767 - JOHN HANCOCK USA Total:
		15,648.26
Vendor: 999008 - KANSAS GOLF & TURF INC		
Fund: 205 - GOLF		
Department: 06 - Expense		
HARNESS JUMPER	GOLF EQUIPMENT REPAIR	627.04
		<u>627.04</u>
		Department 06 - Expense Total:
		627.04
		<u>627.04</u>
		Fund 205 - GOLF Total:
		627.04
		<u>627.04</u>
		Vendor 999008 - KANSAS GOLF & TURF INC Total:
		627.04
Vendor: 10185 - KIM SOULE		
Fund: 110 - RV PARK		
Department: 02 - Liability		
ROBIDOUX DEPOSIT	COMM ROOM DEPOSITS	75.00
		<u>75.00</u>
		Department 02 - Liability Total:
		75.00
		<u>75.00</u>
		Fund 110 - RV PARK Total:
		75.00
		<u>75.00</u>
		Vendor 10185 - KIM SOULE Total:
		75.00
Vendor: 10183 - KLAWN		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Weed spray at fire station	BUILDING/GROUND MAINT	200.00
		<u>200.00</u>
		Department 31 - Fire Total:
		200.00
		<u>200.00</u>
		Fund 101 - GENERAL Total:
		200.00
		<u>200.00</u>
		Vendor 10183 - KLAWN Total:
		200.00
Vendor: 998229 - KRISTEN VOGEL		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Boot Reimbursement Kristen ...	DEPT OPERATING SUPPLIES	160.49
		<u>160.49</u>
		Department 06 - Expense Total:
		160.49
		<u>160.49</u>
		Fund 204 - SANITATION Total:
		160.49
		<u>160.49</u>
		Vendor 998229 - KRISTEN VOGEL Total:
		160.49
Vendor: 999792 - LEE ENTERPRISES		
Fund: 101 - GENERAL		
Department: 10 - Administration		
CITY COUNCIL NOTICE OF HEA...	PUBLICATIONS	22.76
MEETING MINUTES	PUBLICATIONS	156.43
MEETING NOTICE	PUBLICATIONS	26.91
		<u>26.91</u>
		Department 10 - Administration Total:
		206.10

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Department: 42 - Parks		
BIDS FOR HYDRO SEEDER	OTHER PROFESSIONAL SERVIC...	43.18
		Department 42 - Parks Total: 43.18
		Fund 101 - GENERAL Total: 249.28
		Vendor 999792 - LEE ENTERPRISES Total: 249.28
 Vendor: 997302 - LOGOZ LLC		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Shirts for employees	UNIFORMS & CLOTHING	284.00
		Department 06 - Expense Total: 284.00
		Fund 204 - SANITATION Total: 284.00
		Vendor 997302 - LOGOZ LLC Total: 284.00
 Vendor: 999169 - MACQUEEN EQUIPMENT, LLC		
Fund: 130 - STREETS		
Department: 06 - Expense		
Actuator	VEH & EQUIPMENT MAINT	1,227.18
Actuator	VEH & EQUIPMENT MAINT	1,098.80
		Department 06 - Expense Total: 2,325.98
		Fund 130 - STREETS Total: 2,325.98
		Vendor 999169 - MACQUEEN EQUIPMENT, LLC Total: 2,325.98
 Vendor: 10014 - MARK CHRISMAN TRUCKING		
Fund: 150 - KENO		
Department: 06 - Expense		
PICKLEBALL COURTS PAY APP 2	CAPITAL IMPROVEMENTS	52,290.26
		Department 06 - Expense Total: 52,290.26
		Fund 150 - KENO Total: 52,290.26
		Vendor 10014 - MARK CHRISMAN TRUCKING Total: 52,290.26
 Vendor: 615800 - MASEK DISTRIBUTING INC		
Fund: 205 - GOLF		
Department: 06 - Expense		
2 UNIT RENTAL	RENTAL - EQUIPMENT	95.00
		Department 06 - Expense Total: 95.00
		Fund 205 - GOLF Total: 95.00
		Vendor 615800 - MASEK DISTRIBUTING INC Total: 95.00
 Vendor: 999408 - MAX POWELL		
Fund: 130 - STREETS		
Department: 06 - Expense		
Boot Reimbursement	SAFETY SUPPLIES & UNIFORMS	262.15
		Department 06 - Expense Total: 262.15
		Fund 130 - STREETS Total: 262.15
		Vendor 999408 - MAX POWELL Total: 262.15
 Vendor: 641700 - MEAT SHOPPE		
Fund: 207 - CIVIC CENTER		
Department: 06 - Expense		
FOOD & RENTAL EXPENSE (T...	RENTAL - EQUIPMENT	13.95
FOOD & RENTAL EXPENSE (T...	CATERING COSTS	2,349.16
CREDIT FOR OVER PAYMENT ...	CATERING COSTS	-3,208.50
FOOD & RENTAL EXPENSE (T...	RENTAL - EQUIPMENT	31.60
FOOD & RENTAL EXPENSE (T...	CATERING COSTS	4,713.00
FOOD & RENTAL EXPENSE (T...	RENTAL - EQUIPMENT	6.42
FOOD & RENTAL EXPENSE (T...	CATERING COSTS	169.62
FOOD & RENTAL EXPENSE (TA...	RENTAL - EQUIPMENT	40.95
FOOD & RENTAL EXPENSE (TA...	CATERING COSTS	4,513.60

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
CONTRACT OF SERVICES DAT...	MANAGEMENT CONTRACT	5,014.06
		Department 06 - Expense Total: 13,643.86
		Fund 207 - CIVIC CENTER Total: 13,643.86
		Vendor 641700 - MEAT SHOPPE Total: 13,643.86
Vendor: 10111 - MEL'S MOBILE LOCK & KEY		
Fund: 101 - GENERAL		
Department: 42 - Parks		
PIN HINGES	BUILDING/GROUND MAINT	65.00
		Department 42 - Parks Total: 65.00
		Fund 101 - GENERAL Total: 65.00
Fund: 202 - WATER		
Department: 06 - Expense		
Central Plant	DEPT OPERATING SUPPLIES	1,250.00
		Department 06 - Expense Total: 1,250.00
		Fund 202 - WATER Total: 1,250.00
		Vendor 10111 - MEL'S MOBILE LOCK & KEY Total: 1,315.00
Vendor: 996404 - MENARDS		
Fund: 101 - GENERAL		
Department: 41 - Pool		
POOL REPAIR	BUILDING/GROUND MAINT	6.60
		Department 41 - Pool Total: 6.60
Department: 42 - Parks		
STEELE 1 LT WALL LIGHT/ 5K T...	BUILDING/GROUND MAINT	39.98
SPRINKLER	BUILDING/GROUND MAINT	99.99
		Department 42 - Parks Total: 139.97
		Fund 101 - GENERAL Total: 146.57
Fund: 110 - RV PARK		
Department: 06 - Expense		
ZINC Y CONNECT SHUT OFF	BUILDING/GROUND MAINT	20.93
		Department 06 - Expense Total: 20.93
		Fund 110 - RV PARK Total: 20.93
Fund: 202 - WATER		
Department: 06 - Expense		
4 Well	REPAIRS - WELLS	19.83
		Department 06 - Expense Total: 19.83
		Fund 202 - WATER Total: 19.83
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
pest control	DEPT OPERATING SUPPLIES	29.99
		Department 06 - Expense Total: 29.99
		Fund 203 - WASTEWATER Total: 29.99
Fund: 205 - GOLF		
Department: 06 - Expense		
ACELCO	DEPT OPERATING SUPPLIES	144.99
		Department 06 - Expense Total: 144.99
		Fund 205 - GOLF Total: 144.99
		Vendor 996404 - MENARDS Total: 362.31
Vendor: 998025 - MIDWEST CONNECT		
Fund: 101 - GENERAL		
Department: 10 - Administration		
POSTAGE METER INK	OFFICE & BUILDING SUPPLIES	305.00
		Department 10 - Administration Total: 305.00
		Fund 101 - GENERAL Total: 305.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
UTILITY BILL LATE NOTICE MAI... OTHER PROFESSIONAL SERVIC...		82.42
	Department 06 - Expense Total:	<u>82.42</u>
	Fund 201 - ELECTRIC Total:	<u>82.42</u>
Fund: 202 - WATER		
Department: 06 - Expense		
UTILITY BILL LATE NOTICE MAI... OTHER PROFESSIONAL SERVIC...		82.42
	Department 06 - Expense Total:	<u>82.42</u>
	Fund 202 - WATER Total:	<u>82.42</u>
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
UTILITY BILL LATE NOTICE MAI... OTHER PROFESSIONAL SERVIC...		82.42
	Department 06 - Expense Total:	<u>82.42</u>
	Fund 203 - WASTEWATER Total:	<u>82.42</u>
Fund: 204 - SANITATION		
Department: 06 - Expense		
UTILITY BILL LATE NOTICE MAI... OTHER PROFESSIONAL SERVIC...		82.43
	Department 06 - Expense Total:	<u>82.43</u>
	Fund 204 - SANITATION Total:	<u>82.43</u>
	Vendor 998025 - MIDWEST CONNECT Total:	<u>634.69</u>
Vendor: 10113 - MILLER & ASSOCIATES CONSULTING ENGINEERS, P.C.		
Fund: 107 - SINKING		
Department: 06 - Expense		
SWIMMING POOL PAINT RES... CAPITAL OUTLAY		700.00
	Department 06 - Expense Total:	<u>700.00</u>
	Fund 107 - SINKING Total:	<u>700.00</u>
	Vendor 10113 - MILLER & ASSOCIATES CONSULTING ENGINEERS, P.C. Total:	<u>700.00</u>
Vendor: 655200 - MOBIUS COMMUNICATIONS COMPANY		
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
Security IT SUPPORT		30.00
	Department 06 - Expense Total:	<u>30.00</u>
	Fund 203 - WASTEWATER Total:	<u>30.00</u>
	Vendor 655200 - MOBIUS COMMUNICATIONS COMPANY Total:	<u>30.00</u>
Vendor: 997589 - MONUMENT INN & SUITES		
Fund: 101 - GENERAL		
Department: 44 - Library		
Lodging for summer reading p... SUMMER READING PROGRAM		96.00
	Department 44 - Library Total:	<u>96.00</u>
	Fund 101 - GENERAL Total:	<u>96.00</u>
	Vendor 997589 - MONUMENT INN & SUITES Total:	<u>96.00</u>
Vendor: 674400 - MUNICIPAL SUPPLY, INC. OF NE.		
Fund: 202 - WATER		
Department: 06 - Expense		
9th and Q REPAIRS-WTR MAINS/SERVICE...		202.18
	Department 06 - Expense Total:	<u>202.18</u>
	Fund 202 - WATER Total:	<u>202.18</u>
	Vendor 674400 - MUNICIPAL SUPPLY, INC. OF NE. Total:	<u>202.18</u>

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 675955 - MUTUAL OF OMAHA		
Fund: 800 - HEALTH INSURANCE		
Department: 06 - Expense		
LIFE & DISABILITY INSURANCE	PREMIUM EXPENSE	4,271.57
		<u>Department 06 - Expense Total: 4,271.57</u>
		<u>Fund 800 - HEALTH INSURANCE Total: 4,271.57</u>
		<u>Vendor 675955 - MUTUAL OF OMAHA Total: 4,271.57</u>
 Vendor: 679090 - NEBRASKA CHILD SUPPORT PAYMENT CENTE		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
CHILD SUPPORT PAYMENT	CHILD SUPPORT PAYABLE	462.93
CHILD SUPPORT PAYMENT	CHILD SUPPORT PAYABLE	104.77
		<u>Department 02 - Liability Total: 567.70</u>
		<u>Fund 997 - PAYROLL FUND Total: 567.70</u>
		<u>Vendor 679090 - NEBRASKA CHILD SUPPORT PAYMENT CENTE Total: 567.70</u>
 Vendor: 996761 - NEBRASKA DEPARTMENT OF REV (PR)		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
STATE WITHHOLDING - JUNE	STATE W/H PAYABLE	24,298.57
		<u>Department 02 - Liability Total: 24,298.57</u>
		<u>Fund 997 - PAYROLL FUND Total: 24,298.57</u>
		<u>Vendor 996761 - NEBRASKA DEPARTMENT OF REV (PR) Total: 24,298.57</u>
 Vendor: 999180 - NEBRASKA DEPT OF ENVIRONMENT AND EN		
Fund: 204 - SANITATION		
Department: 06 - Expense		
STATE SURCHARGE-2ND QTR ...	STATE SURCHARGE	10,475.79
		<u>Department 06 - Expense Total: 10,475.79</u>
		<u>Fund 204 - SANITATION Total: 10,475.79</u>
		<u>Vendor 999180 - NEBRASKA DEPT OF ENVIRONMENT AND EN Total: 10,475.79</u>
 Vendor: 997989 - NEBRASKA GAME & PARKS COMMISSION		
Fund: 109 - TOURISM		
Department: 06 - Expense		
Room Rent/Bus Fee for Group...	GVB ADVERTISING	112.00
		<u>Department 06 - Expense Total: 112.00</u>
		<u>Fund 109 - TOURISM Total: 112.00</u>
		<u>Vendor 997989 - NEBRASKA GAME & PARKS COMMISSION Total: 112.00</u>
 Vendor: 680115 - NEBRASKA GOLF ASSOCIATION		
Fund: 205 - GOLF		
Department: 04 - Revenue		
HANDICAP FEES	HANDICAP FEES	365.00
		<u>Department 04 - Revenue Total: 365.00</u>
		<u>Fund 205 - GOLF Total: 365.00</u>
		<u>Vendor 680115 - NEBRASKA GOLF ASSOCIATION Total: 365.00</u>
 Vendor: 680750 - NEBRASKA MUNICIPAL POWER POOL		
Fund: 202 - WATER		
Department: 06 - Expense		
rate study	OTHER PROFESSIONAL SERVIC...	3,355.00
		<u>Department 06 - Expense Total: 3,355.00</u>
		<u>Fund 202 - WATER Total: 3,355.00</u>

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
rate study	OTHER PROFESSIONAL SERVIC...	3,355.00
		Department 06 - Expense Total: 3,355.00
		Fund 203 - WASTEWATER Total: 3,355.00
Vendor 680750 - NEBRASKA MUNICIPAL POWER POOL Total:		6,710.00
Vendor: 681258 - NEBRASKA SAFETY AND FIRE EQUIPMENT, INC		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
alarm inspection	BUILDING/GROUND MAINT	135.00
		Department 06 - Expense Total: 135.00
		Fund 201 - ELECTRIC Total: 135.00
Vendor 681258 - NEBRASKA SAFETY AND FIRE EQUIPMENT, INC Total:		135.00
Vendor: 681950 - NKC TIRE		
Fund: 101 - GENERAL		
Department: 42 - Parks		
TIRES FOR CASE TRACTOR	VEH & EQUIPMENT MAINT	622.00
SEALANT IN LAWN TIRE	VEH & EQUIPMENT MAINT	27.99
TURF TIRE	VEH & EQUIPMENT MAINT	20.00
		Department 42 - Parks Total: 669.99
		Fund 101 - GENERAL Total: 669.99
Vendor 681950 - NKC TIRE Total:		669.99
Vendor: 680700 - NMC INCORPORATED		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Filters for Aljon	FUEL, FILTERS & TIRES	940.28
		Department 06 - Expense Total: 940.28
		Fund 204 - SANITATION Total: 940.28
Vendor 680700 - NMC INCORPORATED Total:		940.28
Vendor: 689550 - NORTH PLATTE NRD		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Grass mix seed for canyon east..DEPT OPERATING SUPPLIES		103.83
		Department 06 - Expense Total: 103.83
		Fund 204 - SANITATION Total: 103.83
Vendor 689550 - NORTH PLATTE NRD Total:		103.83
Vendor: 689915 - NORTHWEST PIPE FITTINGS, INC		
Fund: 101 - GENERAL		
Department: 41 - Pool		
PRESSURE GUAGE	BUILDING/GROUND MAINT	3.42
		Department 41 - Pool Total: 3.42
Department: 42 - Parks		
FERNCO	BUILDING/GROUND MAINT	18.80
PVC COUPLING/ CAPS	BUILDING/GROUND MAINT	21.41
		Department 42 - Parks Total: 40.21
		Fund 101 - GENERAL Total: 43.63
Fund: 205 - GOLF		
Department: 06 - Expense		
PVC COMPRESSION COUPLIN...	SPRINKLER REPAIRS	114.04
SAWHORSE PVC, PLUMBING ...	SPRINKLER REPAIRS	48.72
		Department 06 - Expense Total: 162.76
		Fund 205 - GOLF Total: 162.76
Vendor 689915 - NORTHWEST PIPE FITTINGS, INC Total:		206.39

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 698210 - OREGON TRAIL COMMUNITY FOUNDAT		
Fund: 109 - TOURISM		
Department: 04 - Revenue		
OTCF/Robidoux Rendezvous R...	CONCESSION SALES - AMPLIT...	320.00
		Department 04 - Revenue Total: 320.00
		Fund 109 - TOURISM Total: 320.00
Vendor 698210 - OREGON TRAIL COMMUNITY FOUNDAT Total:		320.00
Vendor: 703450 - PANHANDLE COOP ASSOCIATION		
Fund: 101 - GENERAL		
Department: 01 - Asset		
diesel	INVENTOY - DIESEL FUEL	1,256.85
diesel	INVENTOY - DIESEL FUEL	2,835.00
gasoline	INVENTORY - UNLEADED GAS	2,180.50
		Department 01 - Asset Total: 6,272.35
Department: 42 - Parks		
DYED DIESEL	FUEL	768.60
DYED DIESEL	FUEL	570.15
		Department 42 - Parks Total: 1,338.75
		Fund 101 - GENERAL Total: 7,611.10
Fund: 204 - SANITATION		
Department: 06 - Expense		
923 Gallons of Diesel Fuel	FUEL, FILTERS & TIRES	2,907.45
Flat tire repair G6	FUEL, FILTERS & TIRES	70.00
713 Gallons of Diesel	FUEL, FILTERS & TIRES	2,245.95
		Department 06 - Expense Total: 5,223.40
		Fund 204 - SANITATION Total: 5,223.40
Fund: 205 - GOLF		
Department: 06 - Expense		
DYED DIESEL FUEL	FUEL	730.80
DYED DIESEL FUEL	FUEL	626.85
FUEL	FUEL	623.00
		Department 06 - Expense Total: 1,980.65
		Fund 205 - GOLF Total: 1,980.65
Vendor 703450 - PANHANDLE COOP ASSOCIATION Total:		14,815.15
Vendor: 352150 - PANHANDLE ENVIRONMENTAL SERVICE, INC.		
Fund: 202 - WATER		
Department: 06 - Expense		
Lab	LAB SERVICE	131.00
lab	LAB SERVICE	77.00
lab	LAB SERVICE	75.00
		Department 06 - Expense Total: 283.00
		Fund 202 - WATER Total: 283.00
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
lab	LAB SERVICE	791.00
Lab	LAB SERVICE	679.00
Lab	LAB SERVICE	679.00
		Department 06 - Expense Total: 2,149.00
		Fund 203 - WASTEWATER Total: 2,149.00
Vendor 352150 - PANHANDLE ENVIRONMENTAL SERVICE, INC. Total:		2,432.00

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 527500 - PATTLEN ENTERPRISES, INC		
Fund: 205 - GOLF		
Department: 06 - Expense		
O RING SPECIAL BLEND	GOLF EQUIPMENT REPAIR	75.77
		<u>Department 06 - Expense Total: 75.77</u>
		<u>Fund 205 - GOLF Total: 75.77</u>
		Vendor 527500 - PATTLEN ENTERPRISES, INC Total: 75.77
Vendor: 758700 - PAUL REED CONSTRUCTION & SUPP		
Fund: 150 - KENO		
Department: 06 - Expense		
KENO - PICKLEBALL COURTS - ... CAPITAL IMPROVEMENTS		2,279.49
KENO - PICKLEBALL COURTS - ... CAPITAL IMPROVEMENTS		2,326.27
		<u>Department 06 - Expense Total: 4,605.76</u>
		<u>Fund 150 - KENO Total: 4,605.76</u>
		Vendor 758700 - PAUL REED CONSTRUCTION & SUPP Total: 4,605.76
Vendor: 997606 - PIPE WORKS PLUMBING LLC		
Fund: 101 - GENERAL		
Department: 10 - Administration		
URINAL REPAIR-CITY HALL	BUILDING/GROUND MAINT	620.13
		<u>Department 10 - Administration Total: 620.13</u>
Department: 41 - Pool		
CAMERA INSPECTION	BUILDING/GROUND MAINT	190.00
		<u>Department 41 - Pool Total: 190.00</u>
		<u>Fund 101 - GENERAL Total: 810.13</u>
		Vendor 997606 - PIPE WORKS PLUMBING LLC Total: 810.13
Vendor: 10186 - PLAYAWAY PRODUCTS LLC		
Fund: 101 - GENERAL		
Department: 44 - Library		
12 audio books-youth services	AV SUPPLIES	499.00
		<u>Department 44 - Library Total: 499.00</u>
		<u>Fund 101 - GENERAL Total: 499.00</u>
		Vendor 10186 - PLAYAWAY PRODUCTS LLC Total: 499.00
Vendor: 738470 - POWERPLAN OIB		
Fund: 204 - SANITATION		
Department: 06 - Expense		
Cutting Edges for 344J Loader	LANDFILL EQUIP MAINT	468.56
Filters for Dozer and Excavator..	FUEL, FILTERS & TIRES	657.98
Fuel Pump for 344J Loader	LANDFILL EQUIP MAINT	107.88
Work on Scraper Bowl	LANDFILL EQUIP MAINT	101.58
Filter for Excavator.	FUEL, FILTERS & TIRES	35.97
		<u>Department 06 - Expense Total: 1,371.97</u>
		<u>Fund 204 - SANITATION Total: 1,371.97</u>
		Vendor 738470 - POWERPLAN OIB Total: 1,371.97
Vendor: 740605 - PRINT BROKER		
Fund: 109 - TOURISM		
Department: 06 - Expense		
OCTA Convention Welcome B...	GVB ADVERTISING	632.73
		<u>Department 06 - Expense Total: 632.73</u>
		<u>Fund 109 - TOURISM Total: 632.73</u>
		Vendor 740605 - PRINT BROKER Total: 632.73
Vendor: 998154 - PT HOSE AND BEARING		
Fund: 130 - STREETS		
Department: 06 - Expense		
Wheel Bearings	VEH & EQUIPMENT MAINT	28.80

CLAIMS REPORT

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Description (Payable)	Account Name	Amount
Wheel Bearings & Couplers	VEH & EQUIPMENT MAINT	78.48
		Department 06 - Expense Total: 107.28
		Fund 130 - STREETS Total: 107.28
 Fund: 204 - SANITATION		
Department: 06 - Expense		
Hyd Hose for Mower	DEPT OPERATING SUPPLIES	82.86
		Department 06 - Expense Total: 82.86
		Fund 204 - SANITATION Total: 82.86
		Vendor 998154 - PT HOSE AND BEARING Total: 190.14
 Vendor: 10133 - QUADIENT LEASING USA		
Fund: 101 - GENERAL		
Department: 10 - Administration		
PROPERTY TAX ON POSTAGE ...	LEASE & RENTAL PAYMENT	101.29
		Department 10 - Administration Total: 101.29
		Fund 101 - GENERAL Total: 101.29
		Vendor 10133 - QUADIENT LEASING USA Total: 101.29
 Vendor: 998032 - QUADIENT POSTAGE FUNDING		
Fund: 101 - GENERAL		
Department: 10 - Administration		
POSTAGE	POSTAGE	811.81
		Department 10 - Administration Total: 811.81
		Fund 101 - GENERAL Total: 811.81
		Vendor 998032 - QUADIENT POSTAGE FUNDING Total: 811.81
 Vendor: 760389 - REGIONAL CARE INC.		
Fund: 800 - HEALTH INSURANCE		
Department: 06 - Expense		
FLEX CARD PAYMENTS 6/20	FLEX BENEFIT EXPENSE	139.25
CLAIMS FOR WEEK OF 6/27/23	CLAIMS EXPENSE	14,691.06
FLEX CARD CLAIMS 6/27	FLEX BENEFIT EXPENSE	561.22
HEALTH INSURANCE PREMIU...	PREMIUM EXPENSE	41,289.91
CLAIMS FOR WEEK OF 7/3/23	CLAIMS EXPENSE	8,192.39
FLEX CARD PAYMENTS 7/3/23	FLEX BENEFIT EXPENSE	975.16
		Department 06 - Expense Total: 65,848.99
		Fund 800 - HEALTH INSURANCE Total: 65,848.99
		Vendor 760389 - REGIONAL CARE INC. Total: 65,848.99
 Vendor: 369890 - RIVERSTONE BANK		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	IBEW UNION DUES PAYABLE	583.85
		Department 02 - Liability Total: 583.85
		Fund 997 - PAYROLL FUND Total: 583.85
		Vendor 369890 - RIVERSTONE BANK Total: 583.85
 Vendor: 794090 - SARGENT DRILLING CO.		
Fund: 202 - WATER		
Department: 06 - Expense		
3 well check	REPAIRS - WELLS	3,901.25
HSP #1	REPAIRS - WELLS	7,078.31
12 well Check	REPAIRS - WELLS	2,500.00
HSP #2	REPAIRS - WELLS	4,765.31
		Department 06 - Expense Total: 18,244.87
		Fund 202 - WATER Total: 18,244.87
		Vendor 794090 - SARGENT DRILLING CO. Total: 18,244.87

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 10160 - SCOTTS BLUFF COUNTY		
Fund: 107 - SINKING		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY	2,868.76
		<u>2,868.76</u>
		Department 06 - Expense Total:
		2,868.76
		Fund 107 - SINKING Total:
		2,868.76
Fund: 130 - STREETS		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY EQUIPMENT	24,592.07
		<u>24,592.07</u>
		Department 06 - Expense Total:
		24,592.07
		Fund 130 - STREETS Total:
		24,592.07
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY EQUIPMENT	35,706.83
		<u>35,706.83</u>
		Department 06 - Expense Total:
		35,706.83
		Fund 201 - ELECTRIC Total:
		35,706.83
Fund: 202 - WATER		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY EQUIPMENT	20,886.92
		<u>20,886.92</u>
		Department 06 - Expense Total:
		20,886.92
		Fund 202 - WATER Total:
		20,886.92
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY EQUIPMENT	6,962.31
		<u>6,962.31</u>
		Department 06 - Expense Total:
		6,962.31
		Fund 203 - WASTEWATER Total:
		6,962.31
Fund: 204 - SANITATION		
Department: 06 - Expense		
COUNTY RADIO SYSTEM - PA...	CAPITAL OUTLAY EQUIPMENT	39,597.39
		<u>39,597.39</u>
		Department 06 - Expense Total:
		39,597.39
		Fund 204 - SANITATION Total:
		39,597.39
		Vendor 10160 - SCOTTS BLUFF COUNTY Total:
		130,614.28
Vendor: 804250 - SCOTTSBLUFF-GERING UNITED WAY		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	UNITED WAY PAYABLE	221.25
		<u>221.25</u>
		Department 02 - Liability Total:
		221.25
		Fund 997 - PAYROLL FUND Total:
		221.25
		Vendor 804250 - SCOTTSBLUFF-GERING UNITED WAY Total:
		221.25
Vendor: 976200 - SHAWNA WINCHELL		
Fund: 207 - CIVIC CENTER		
Department: 06 - Expense		
CLEANING HALLS & BATHS	OTHER PROFESSIONAL SERVIC...	430.00
		<u>430.00</u>
		Department 06 - Expense Total:
		430.00
		Fund 207 - CIVIC CENTER Total:
		430.00
		Vendor 976200 - SHAWNA WINCHELL Total:
		430.00
Vendor: 812500 - SHERWIN WILLIAMS		
Fund: 130 - STREETS		
Department: 06 - Expense		
Gray Traffic Paint	TRAFFIC CONTROL SUPPLIES	184.22
		<u>184.22</u>
		Department 06 - Expense Total:
		184.22
		Fund 130 - STREETS Total:
		184.22
		Vendor 812500 - SHERWIN WILLIAMS Total:
		184.22

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
Vendor: 820550 - SIMON CONTRACTORS		
Fund: 130 - STREETS		
Department: 06 - Expense		
Concrete	STREET MAINTENANCE & REP...	1,514.50
Concrete	STREET MAINTENANCE & REP...	2,244.00
		Department 06 - Expense Total: 3,758.50
		Fund 130 - STREETS Total: 3,758.50
Fund: 205 - GOLF		
Department: 06 - Expense		
COLD MIX	BUILDING/GROUND MAINT	130.50
COLD MIX	BUILDING/GROUND MAINT	265.50
COLD MIX	BUILDING/GROUND MAINT	111.00
		Department 06 - Expense Total: 507.00
		Fund 205 - GOLF Total: 507.00
		Vendor 820550 - SIMON CONTRACTORS Total: 4,265.50
Vendor: 850350 - STAPLES CREDIT PLAN		
Fund: 101 - GENERAL		
Department: 41 - Pool		
OFFICE SUPPLIES	DEPT OPERATING SUPPLIES	62.95
		Department 41 - Pool Total: 62.95
		Fund 101 - GENERAL Total: 62.95
		Vendor 850350 - STAPLES CREDIT PLAN Total: 62.95
Vendor: 851650 - STATE FIRE MARSHAL TRAINING DI		
Fund: 101 - GENERAL		
Department: 31 - Fire		
FF1 testing 2 firefighters	TRAINING & CONFERENCES	100.00
		Department 31 - Fire Total: 100.00
		Fund 101 - GENERAL Total: 100.00
		Vendor 851650 - STATE FIRE MARSHAL TRAINING DI Total: 100.00
Vendor: 997058 - SUGAR VALLEY FEDERAL CREDIT		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	CREDIT UNION PAYABLE	528.37
		Department 02 - Liability Total: 528.37
		Fund 997 - PAYROLL FUND Total: 528.37
		Vendor 997058 - SUGAR VALLEY FEDERAL CREDIT Total: 528.37
Vendor: 999735 - SUNBELT SOLOMON		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
transformer oil	DEPT OPERATING SUPPLIES	1,940.00
		Department 06 - Expense Total: 1,940.00
		Fund 201 - ELECTRIC Total: 1,940.00
		Vendor 999735 - SUNBELT SOLOMON Total: 1,940.00
Vendor: 10187 - TARA DEWITT		
Fund: 101 - GENERAL		
Department: 02 - Liability		
Refund Deposit for Plaza event..PLAZA DEPOSITS		300.00
		Department 02 - Liability Total: 300.00
		Fund 101 - GENERAL Total: 300.00
		Vendor 10187 - TARA DEWITT Total: 300.00
Vendor: 875990 - TAYLOR MADE GOLF COMPANY		
Fund: 205 - GOLF		
Department: 06 - Expense		
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	232.68

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
PRO SHOP MERCHANDISE	PRO SHOP MERCHANDISE	732.85
		Department 06 - Expense Total: 965.53
		Fund 205 - GOLF Total: 965.53
		Vendor 875990 - TAYLOR MADE GOLF COMPANY Total: 965.53
Vendor: 10135 - TRANSWEST		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Repair tail light unit 62	VEH & EQUIPMENT MAINT	174.56
		Department 31 - Fire Total: 174.56
		Fund 101 - GENERAL Total: 174.56
		Vendor 10135 - TRANSWEST Total: 174.56
Vendor: 999019 - VALLEY AUTO LOCATORS LLC		
Fund: 101 - GENERAL		
Department: 31 - Fire		
Repair axles/joints unit 62	VEH & EQUIPMENT MAINT	1,973.37
		Department 31 - Fire Total: 1,973.37
Department: 32 - Police		
BATTERY FOR PATROL CAR	VEH & EQUIP MAINTNEANCE	236.60
		Department 32 - Police Total: 236.60
		Fund 101 - GENERAL Total: 2,209.97
		Vendor 999019 - VALLEY AUTO LOCATORS LLC Total: 2,209.97
Vendor: 996698 - VERIZON WIRELESS SERVICES, LLC		
Fund: 101 - GENERAL		
Department: 22 - Eng/Bldg Inspection		
ON CALL CELL/LAPTOPS	PHONE & INTERNET	42.97
		Department 22 - Eng/Bldg Inspection Total: 42.97
Department: 31 - Fire		
ON CALL CELL/LAPTOPS	PHONE & INTERNET	243.92
		Department 31 - Fire Total: 243.92
Department: 32 - Police		
DATA FOR MDTS	PHONE & INTERNET	499.70
		Department 32 - Police Total: 499.70
		Fund 101 - GENERAL Total: 786.59
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
ON CALL CELL/LAPTOPS	PHONE & INTERNET	40.01
		Department 06 - Expense Total: 40.01
		Fund 201 - ELECTRIC Total: 40.01
Fund: 202 - WATER		
Department: 06 - Expense		
ON CALL CELL/LAPTOPS	PHONE & INTERNET	60.02
		Department 06 - Expense Total: 60.02
		Fund 202 - WATER Total: 60.02
Fund: 203 - WASTEWATER		
Department: 06 - Expense		
ON CALL CELL/LAPTOPS	PHONE & INTERNET	60.02
		Department 06 - Expense Total: 60.02
		Fund 203 - WASTEWATER Total: 60.02
		Vendor 996698 - VERIZON WIRELESS SERVICES, LLC Total: 946.64
Vendor: 777035 - W & R INC.		
Fund: 101 - GENERAL		
Department: 41 - Pool		
GFI RECEPTACLES IN DRESSING..BUILDING/GROUND MAINT		718.80

CLAIMS REPORT

Post Dates: 6/27/2023 - 7/10/2023 Payment Dates: 6/27/2023 - 7/10/2023

Description (Payable)	Account Name	Amount
AUTOMATIC WATER LEVEL C...	EQUIPMENT MAINT	1,808.03
		<u>Department 41 - Pool Total: 2,526.83</u>
		<u>Fund 101 - GENERAL Total: 2,526.83</u>
Fund: 150 - KENO		
Department: 06 - Expense		
PICKLEBALL COURT - LIGHTING	CAPITAL IMPROVEMENTS	15,237.00
		<u>Department 06 - Expense Total: 15,237.00</u>
		<u>Fund 150 - KENO Total: 15,237.00</u>
Fund: 204 - SANITATION		
Department: 06 - Expense		
Work on Baler	BALER MAINTENANCE	463.75
		<u>Department 06 - Expense Total: 463.75</u>
		<u>Fund 204 - SANITATION Total: 463.75</u>
		<u>Vendor 777035 - W & R INC. Total: 18,227.58</u>
Vendor: 942300 - WESCO RECEIVABLES CORP.		
Fund: 201 - ELECTRIC		
Department: 06 - Expense		
cable support/6"conduit	CAPITAL IMPROVEMENTS	3,139.00
		<u>Department 06 - Expense Total: 3,139.00</u>
		<u>Fund 201 - ELECTRIC Total: 3,139.00</u>
		<u>Vendor 942300 - WESCO RECEIVABLES CORP. Total: 3,139.00</u>
Vendor: 942350 - WESTERN COOPERATIVE COMPANY		
Fund: 101 - GENERAL		
Department: 42 - Parks		
SPRAYER REPAIR	VEH & EQUIPMENT MAINT	1.98
		<u>Department 42 - Parks Total: 1.98</u>
		<u>Fund 101 - GENERAL Total: 1.98</u>
		<u>Vendor 942350 - WESTERN COOPERATIVE COMPANY Total: 1.98</u>
Vendor: 998632 - WESTERN STATES BANK		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
PAYROLL CLAIMS	HSA PAYABLE	9,198.61
		<u>Department 02 - Liability Total: 9,198.61</u>
		<u>Fund 997 - PAYROLL FUND Total: 9,198.61</u>
		<u>Vendor 998632 - WESTERN STATES BANK Total: 9,198.61</u>
Vendor: 994100 - YMCA OF SCOTTSBLUFF		
Fund: 997 - PAYROLL FUND		
Department: 02 - Liability		
MONTHLY MEMBERSHIP DUES	YMCA FITNESS PAYABLE	1,065.00
		<u>Department 02 - Liability Total: 1,065.00</u>
		<u>Fund 997 - PAYROLL FUND Total: 1,065.00</u>
		<u>Vendor 994100 - YMCA OF SCOTTSBLUFF Total: 1,065.00</u>
		<u>Grand Total: 614,651.37</u>

Report Summary

Fund Summary

Fund	Expense Amount	Payment Amount
101 - GENERAL	30,272.76	0.00
107 - SINKING	69,515.76	0.00
109 - TOURISM	1,221.31	0.00
110 - RV PARK	400.30	0.00
114 - PUBLIC SAFETY	5,031.00	0.00
130 - STREETS	32,498.24	0.00
150 - KENO	73,033.02	0.00
201 - ELECTRIC	50,531.56	0.00
202 - WATER	44,649.62	0.00
203 - WASTEWATER	13,384.15	0.00
204 - SANITATION	85,628.92	0.00
205 - GOLF	9,917.03	0.00
207 - CIVIC CENTER	17,233.05	0.00
800 - HEALTH INSURANCE	70,709.25	65,848.99
997 - PAYROLL FUND	110,625.40	110,625.40
Grand Total:	614,651.37	176,474.39

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
101-01-1611	INVENTORY - UNLEADED...	2,180.50	0.00
101-01-1612	INVENTOY - DIESEL FUEL	4,091.85	0.00
101-02-2773	PLAZA DEPOSITS	300.00	0.00
101-04-4610	BUILDING PERMITS	55.00	0.00
101-10-6230	IT SUPPORT	840.00	0.00
101-10-6305	OFFICE & BUILDING SUP...	674.88	0.00
101-10-6306	POSTAGE	811.81	0.00
101-10-6310	PHONE & INTERNET	410.90	0.00
101-10-6350	BUILDING/GROUND MA...	685.67	0.00
101-10-6475	LEASE & RENTAL PAYME...	101.29	0.00
101-10-6640	OTHER PROFESSIONAL S...	159.00	0.00
101-10-6645	PUBLICATIONS	206.10	0.00
101-22-6230	IT SUPPORT	210.00	0.00
101-22-6300	DEPT OPERATING SUPPL...	221.96	0.00
101-22-6310	PHONE & INTERNET	44.95	0.00
101-22-6340	VEH & EQUIP MAINT	172.98	0.00
101-31-6111	FF/EMT INCENTIVE	137.60	0.00
101-31-6213	TRAINING & CONFEREN...	100.00	0.00
101-31-6230	IT SUPPORT	131.25	0.00
101-31-6310	PHONE & INTERNET	369.08	0.00
101-31-6340	VEH & EQUIPMENT MAI...	3,018.17	0.00
101-31-6350	BUILDING/GROUND MA...	256.71	0.00
101-32-6213	TRAINING & CONFEREN...	66.00	0.00
101-32-6230	IT SUPPORT	1,294.97	0.00
101-32-6300	DEPT OPERATING SUPPL...	69.98	0.00
101-32-6305	OFFICE & BUILDING SUP...	125.81	0.00
101-32-6310	PHONE & INTERNET	657.63	0.00
101-32-6340	VEH & EQUIP MAINTEA...	236.60	0.00
101-32-6410	UNIFORMS/PPE	305.00	0.00
101-32-6415	FIREARM SUPPLIES	441.00	0.00
101-34-6230	IT SUPPORT	52.50	0.00
101-34-6310	PHONE & INTERNET	90.02	0.00
101-34-6350	BUILDING/GROUND MA...	84.84	0.00
101-41-6300	DEPT OPERATING SUPPL...	3,283.67	0.00
101-41-6310	PHONE & INTERNET	146.13	0.00
101-41-6340	EQUIPMENT MAINT	1,808.03	0.00
101-41-6350	BUILDING/GROUND MA...	978.00	0.00
101-42-6230	IT SUPPORT	52.50	0.00

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
101-42-6300	DEPT OPERATING SUPPL...	333.17	0.00
101-42-6305	OFFICE & BUILDING SUP...	48.52	0.00
101-42-6310	PHONE & INTERNET	174.68	0.00
101-42-6320	FUEL	1,338.75	0.00
101-42-6340	VEH & EQUIPMENT MAI...	1,181.78	0.00
101-42-6350	BUILDING/GROUND MA...	621.13	0.00
101-42-6640	OTHER PROFESSIONAL S...	43.18	0.00
101-44-6300	DEPT OPERATING SUPPL...	55.35	0.00
101-44-6305	OFFICE & BUILDING SUP...	36.09	0.00
101-44-6310	PHONE & INTERNET	160.98	0.00
101-44-6420	AV SUPPLIES	499.00	0.00
101-44-6543	SUMMER READING PRO...	96.00	0.00
101-44-6651	BOOKS	811.75	0.00
107-06-6460	CAPITAL OUTLAY	69,515.76	0.00
109-04-4510	CONCESSION SALES - A...	320.00	0.00
109-06-6310	PHONE & INTERNET	73.03	0.00
109-06-6340	EQUIPMENT MAINT	31.05	0.00
109-06-6541	GVB EQUIPMENT MAINT	52.50	0.00
109-06-6649	GVB ADVERTISING	744.73	0.00
110-02-2200	COMM ROOM DEPOSITS	75.00	0.00
110-06-6230	IT SUPPORT	52.50	0.00
110-06-6305	DEPT OPERATING SUPPL...	13.99	0.00
110-06-6310	PHONE & INTERNET	221.63	0.00
110-06-6350	BUILDING/GROUND MA...	37.18	0.00
114-32-6363	CAPITAL OUTLAY EQUIP...	5,031.00	0.00
130-06-6230	IT SUPPORT	183.75	0.00
130-06-6300	DEPT OPERATING SUPPL...	870.40	0.00
130-06-6310	PHONE & INTERNET	88.89	0.00
130-06-6326	SAFETY SUPPLIES & UNI...	262.15	0.00
130-06-6344	CAPITAL OUTLAY EQUIP...	24,592.07	0.00
130-06-6345	VEH & EQUIPMENT MAI...	2,433.26	0.00
130-06-6351	TRAFFIC CONTROL SUPPL...	184.22	0.00
130-06-6932	STREET MAINTENANCE &...	3,883.50	0.00
150-06-6460	CAPITAL IMPROVEMENTS	73,033.02	0.00
201-01-1270	INVENTORY	957.19	0.00
201-06-6230	IT SUPPORT	211.24	0.00
201-06-6300	DEPT OPERATING SUPPL...	2,791.31	0.00
201-06-6310	PHONE & INTERNET	163.37	0.00
201-06-6344	CAPITAL OUTLAY EQUIP...	35,706.83	0.00
201-06-6345	VEH & EQUIPMENT MAI...	37.57	0.00
201-06-6350	BUILDING/GROUND MA...	135.00	0.00
201-06-6460	CAPITAL IMPROVEMENTS	10,271.63	0.00
201-06-6565	TRAFFIC CONTROL SIGN...	175.00	0.00
201-06-6640	OTHER PROFESSIONAL S...	82.42	0.00
202-06-6230	IT SUPPORT	131.25	0.00
202-06-6300	DEPT OPERATING SUPPL...	1,261.06	0.00
202-06-6310	PHONE & INTERNET	50.06	0.00
202-06-6344	CAPITAL OUTLAY EQUIP...	20,886.92	0.00
202-06-6345	VEH & EQUIPMENT MAI...	103.03	0.00
202-06-6355	REPAIRS - WELLS	18,264.70	0.00
202-06-6370	REPAIRS-WTR MAINS/SE...	202.18	0.00
202-06-6615	LAB SERVICE	313.00	0.00
202-06-6640	OTHER PROFESSIONAL S...	3,437.42	0.00
203-06-6230	IT SUPPORT	161.25	0.00
203-06-6300	DEPT OPERATING SUPPL...	29.99	0.00
203-06-6310	PHONE & INTERNET	183.22	0.00
203-06-6344	CAPITAL OUTLAY EQUIP...	6,962.31	0.00
203-06-6356	REPAIRS-WWTP	460.96	0.00

Account Summary

Account Number	Account Name	Expense Amount	Payment Amount
203-06-6615	LAB SERVICE	2,149.00	0.00
203-06-6640	OTHER PROFESSIONAL S...	3,437.42	0.00
204-01-1130	CASH - JOINT LANDFILL S...	21,797.48	0.00
204-06-6230	IT SUPPORT	641.38	0.00
204-06-6300	DEPT OPERATING SUPPL...	458.95	0.00
204-06-6305	OFFICE & BUILDING SUP...	684.61	0.00
204-06-6310	PHONE & INTERNET	55.60	0.00
204-06-6320	FUEL, FILTERS & TIRES	7,421.30	0.00
204-06-6344	CAPITAL OUTLAY EQUIP...	39,597.39	0.00
204-06-6350	BUILDING/GROUND MA...	218.05	0.00
204-06-6360	UNIFORMS & CLOTHING	284.00	0.00
204-06-6525	BALER MAINTENANCE	463.75	0.00
204-06-6541	COLLECTIONS EQUIP MA...	370.17	0.00
204-06-6542	LANDFILL EQUIP MAINT	678.02	0.00
204-06-6575	CONTAINERS	2,400.00	0.00
204-06-6640	OTHER PROFESSIONAL S...	82.43	0.00
204-06-6740	STATE SURCHARGE	10,475.79	0.00
205-04-4539	HANDICAP FEES	365.00	0.00
205-06-6230	IT SUPPORT	131.25	0.00
205-06-6300	DEPT OPERATING SUPPL...	144.99	0.00
205-06-6305	OFFICE & BUILDING SUP...	210.55	0.00
205-06-6310	PHONE & INTERNET	379.59	0.00
205-06-6320	FUEL	1,980.65	0.00
205-06-6321	FERTILIZER & CHEMICALS	2,319.69	0.00
205-06-6342	RENTAL - EQUIPMENT	95.00	0.00
205-06-6345	GOLF EQUIPMENT REPA...	702.81	0.00
205-06-6350	BUILDING/GROUND MA...	507.00	0.00
205-06-6358	SPRINKLER REPAIRS	162.76	0.00
205-06-6360	PRO SHOP MERCHANDISE	2,917.74	0.00
207-06-6106	MANAGEMENT CONTRA...	5,014.06	0.00
207-06-6230	IT SUPPORT	131.25	0.00
207-06-6310	PHONE & INTERNET	649.14	0.00
207-06-6340	EQUIP MAINT & REPAIR	2,378.80	0.00
207-06-6640	OTHER PROFESSIONAL S...	430.00	0.00
207-06-6680	RENTAL - EQUIPMENT	92.92	0.00
207-06-6700	CATERING COSTS	8,536.88	0.00
800-06-6131	PREMIUM EXPENSE	45,561.48	41,289.91
800-06-6132	CLAIMS EXPENSE	22,883.45	22,883.45
800-06-6320	FLEX BENEFIT EXPENSE	1,675.63	1,675.63
800-06-6350	TAX EXPENSE	588.69	0.00
997-02-2300	FEDERAL W/H PAYABLE	15,029.36	15,029.36
997-02-2301	FICA PAYABLE	34,123.34	34,123.34
997-02-2302	STATE W/H PAYABLE	24,298.57	24,298.57
997-02-2310	HSA PAYABLE	9,198.61	9,198.61
997-02-2320	UNITED WAY PAYABLE	221.25	221.25
997-02-2330	IBEW UNION DUES PAY...	583.85	583.85
997-02-2346	POLICE UNION DUES PA...	550.00	550.00
997-02-2367	VISION INS PAYABLE	581.28	581.28
997-02-2370	CREDIT UNION PAYABLE	528.37	528.37
997-02-2376	CHILD SUPPORT PAYABLE	567.70	567.70
997-02-2380	PENSION PAYABLE	23,540.07	23,540.07
997-02-2395	YMCA FITNESS PAYABLE	1,065.00	1,065.00
997-02-2397	ELITE HEALTH PAYABLE	112.00	112.00
997-02-2398	24/7 FITNESS PAYABLE	226.00	226.00
	Grand Total:	614,651.37	176,474.39

Project Account Summary

Project Account Key	Expense Amount	Payment Amount
None	<u>614,651.37</u>	<u>176,474.39</u>
Grand Total:	614,651.37	176,474.39

Agenda Item Summary

For the meeting of: July 10, 2023

Agenda item title: File for Record Lease Estoppel and Agreement for SE Municipal Solar, LLC

Submitted by: Pat Heath, City Administrator

Explanation of the agenda item: The Lease Estoppel and Agreement is the lender's request to verify the City has clear title to the land leased to SE Municipal Solar, LLC., has not assigned mineral rights to other parities, there are no actions pending against the City on the land, the City will not assign or transfer our our interests in the solar lease, the Lessee is not in default for rent or the City does not have a claim against SE Municipal Solar.

Board/Commission/Staff recommendation: Staff recommends Council approve the Lease Estoppel and Agreement.

Does this item require the expenditure of funds?	_____	yes	_____	X	no
Are funds budgeted?	_____	yes	_____	X	no

If no, comments:

Estimated Amount _____
Amount Budgeted _____
Department _____
Account _____
Account Description _____
Approval of funds available: _____

City Treasurer/Finance Director

Does this item require a resolution or an ordinance? _____ yes _____ X _____ no

If a resolution or ordinance is required, it must be attached.

Please list all names and addresses of those to be notified.

Approved for submittal:

Kathy Welzl

Mayor, City Council member, City Administrator, City Clerk

Referred to: _____ **Committee**

All Agenda Item Summaries and the required attachments are due by Noon on the Wednesday prior to the Council meeting. If the Wednesday prior to the City Council is a holiday, the deadline is Tuesday at Noon.

LEASE ESTOPPEL AND AGREEMENT

[*July 6*], 2023

City of Gering, Nebraska
Attention: Pat Heath
1025 P Street
P.O. Box 687
Gering, NE 69341

Re: Lease and Easement Agreement for Solar Energy System effective November 28, 2022 by and between the City of Gering, Nebraska (the “*Lessor*”) and SE Municipal Solar, LLC, a Nebraska limited liability company (the “*Lessee*”) (as the same may be amended, the “*Solar Lease*”), with respect to that certain real property described in Exhibit 1-B attached to the Lease (the “*Leased Premises*”), constituting a portion of that certain real property described in Exhibit 1-A of the Lease (the “*Property*”).

To whom it may concern:

Solar Construction Lending, LLC, a Delaware limited liability company (the “*Lender*”), intends to advance a loan (the “*Loan*”) to SE Municipal Portfolio, LLC, a Nebraska limited liability company, of which Lessee is a wholly owned subsidiary, in order to finance, among other things, a portion of the costs of the construction of a solar photovoltaic electric generating facility owned by the Lessee and located on the Leased Premises. The Loan is secured, in part, by the granting by Lessee of a leasehold deed of trust on its leasehold interest in the Leased Premises (the “*Security Instrument*”). The rights and interests of Lessee under the Solar Lease and Lessee’s leasehold interest in the Leased Premises and all rights and proceeds of Lessee relating thereto are referred to herein as the “*Leasehold Estate*”.

As part of Lender’s due diligence review in determining whether to advance the Loan, we ask that you confirm the following:

1. Attached hereto as Exhibit A is a true, correct and complete copy of the Solar Lease and any amendments or other modifications thereto in effect as of the date hereof. As of the date hereof, the Solar Lease constitutes the entire agreement between you and Lessee with respect to the subject matter thereof and the Solar Lease is in full force and effect.
2. All payments due under the Lease have been paid in full through the date hereof.
3. As of the date hereof: (i) neither you nor, to your knowledge, Lessee is in default under the Solar Lease; and (ii) there is no event which, solely with the giving of notice and/or the passage of time, would constitute such a default or otherwise permit the Lessor to terminate the Solar Lease prior to its expiration date.

4. As of the date hereof: (i) you have no claim, setoff or defense of any nature whatsoever against Lessee with respect to the Lessee's rights under the Solar Lease; and (ii) there is no event which, with the giving of notice and/or the passage of time, would constitute the basis of such a claim, setoff or defense.

5. Lessor holds free title to the Property, and the Solar Lease is not subordinate, and has not been subordinated to any mortgage, lien or other encumbrance. Lessor has not assigned, conveyed, transferred, sold, encumbered or mortgaged its interest in the Solar Lease or its interest in the Property, and there are no mortgages, deeds of trust or other security interests or other encumbrances encumbering the Lessor's interest in the Property, except for the items listed on *Exhibit B* attached hereto.

6. No third party has any option or preferential right to purchase all or any part of the Property.

7. Lessor has not assigned, leased or otherwise conveyed any interest or option in or in respect to any oil, gas or other minerals on or under the Property.

8. As of the date hereof, there are no actions pending against you under bankruptcy or any similar laws of the United States or any state.

9. You have not received written notice of and you do not have any knowledge of any pending eminent domain proceedings or other governmental actions or any judicial actions of any kind against your interest in the Property.

10. You have not received written notice of any violation of any governmental law or regulation applicable to the Property, including, without limitation, any environmental laws and you have no reason to believe that there are grounds for any claim of any such violation.

11. Lessor agrees that it shall not assign, pledge or otherwise transfer its interests in the Solar Lease except (a) as permitted under the terms of the Solar Lease, and (b) to an assignee who assumes Lessor's obligations under this Lease Estoppel and Agreement.

12. You acknowledge and agree that Lender is a "Mortgagee" as defined in the Solar Lease, that this Lease Estoppel and Agreement constitutes the notice of such designation of the Lender, and that Lender is entitled to all rights and protections afforded to a Lender under the Solar Lease, including but not limited to the rights to receive notice of defaults and the rights to cure as provided therein. Lender's address for purpose of notices to be provided under the Solar Lease or this letter shall be the following (unless another address is provided by Lender to you in writing):

Solar Construction Lending, LLC
745 5th Avenue, 25th Floor
New York, New York 10151
Attention: Mark Domine
Email: mdomine@fundamentalfundamentals.com

13. You acknowledge and agree that you have made the above statements and agreements for the benefit and protection of, and with the intent and understanding that they will be relied upon by, Lender and its successors and assigns.

[remainder of page intentionally left blank]

We would appreciate you reviewing and signing this letter at your earliest possible convenience.

Sincerely,

SOLAR CONSTRUCTION LENDING, LLC,
a Delaware limited liability company

By: Fundamental Renewables LLC,
a Delaware limited liability company,
its Administrator

By: _____
Name: Mark Domine
Title: Managing Director and Head of Originations

**ACKNOWLEDGED, CONFIRMED, AND AGREED
AS OF THE DATE SET FORTH ABOVE:**

LESSOR:

CITY OF GERING, NEBRASKA

By:



Name: Kent E. Ewing
Title: Mayor

Exhibit A
SOLAR LEASE

[See attached]

Exhibit A

Agenda Item Summary

For the meeting of: July 10, 2023

Agenda item title: File for Record- documents for the Safe Streets for All Grant

Submitted by: Annie Folck, City Engineer

Explanation of the agenda item: The City is applying for a Safe Streets for All Grant in hopes of receiving federal money to create a plan for transportation improvements which will enhance safety for pedestrians, cyclists, motorists, and transit throughout the community. If received, the grant will provide funding for a Transportation Safety Action Plan. Once the plan has been drafted, the City will be eligible to apply for implementation funds which could be used to make improvements to City infrastructure for projects designated in the Action Plan. There is a 20% match for the grant, which has been included in the preliminary Street Department budget for 2024. The grant application and supporting documents must be submitted by July 10, 2023.

Board/Commission/Staff recommendation: _____

Does this item require the expenditure of funds?	X	yes	_____	no
Are funds budgeted?	X	yes	_____	no

If no, comments: _____

Estimated Amount _____
 There is a 20% match (\$50,000) for the grant, which has been included in the preliminary Street Department budget for FY24.

Amount Budgeted _____

Department _____

Account _____

Account Description _____

Approval of funds available: _____

City Treasurer/Finance Director

Does this item require a resolution or an ordinance?	_____	yes	X	_____	no
---	-------	------------	---	-------	-----------

If a resolution or ordinance is required, it must be attached.

Please list all names and addresses of those to be notified.

Approved for submittal:

Kathy Welzl

 Mayor, City Council member, City Administrator, City Clerk

Referred to: _____

Committee

All Agenda Item Summaries and the required attachments are due by Noon on the Wednesday prior to the Council meeting. If the Wednesday prior to the City Council is a holiday, the deadline is Tuesday at Noon.

Application for Federal Assistance SF-424

* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application	* 2. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Continuation <input type="checkbox"/> Revision	* If Revision, select appropriate letter(s): _____ * Other (Specify): _____
---	---	--

* 3. Date Received: 07/10/2023	4. Applicant Identifier: _____
--	--

5a. Federal Entity Identifier: _____	5b. Federal Award Identifier: _____
--	---

State Use Only:

6. Date Received by State: _____	7. State Application Identifier: _____
---	---

8. APPLICANT INFORMATION:

* a. Legal Name: City of Gering, NE	
* b. Employer/Taxpayer Identification Number (EIN/TIN): 47-6006198	* c. UEI: VADWNMH8YES5

d. Address:

* Street1:	1025 P Street
Street2:	P.O. Box 687
* City:	Gering
County/Parish:	Scotts Bluff
* State:	NE: Nebraska
Province:	_____
* Country:	USA: UNITED STATES
* Zip / Postal Code:	69341-0687

e. Organizational Unit:

Department Name: _____	Division Name: _____
----------------------------------	--------------------------------

f. Name and contact information of person to be contacted on matters involving this application:

Prefix: _____	* First Name: Annie
Middle Name: _____	
* Last Name: Folck	
Suffix: _____	

Title: City Engineer

Organizational Affiliation: _____

* Telephone Number: 308-436-6845	Fax Number: 608-436-6899
---	---------------------------------

* Email: folck@gering.org

Application for Federal Assistance SF-424

*** 9. Type of Applicant 1: Select Applicant Type:**

C: City or Township Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:**

U.S. Department of Transportation

11. Catalog of Federal Domestic Assistance Number:

20.939

CFDA Title:

Safe Streets and Roads for All

*** 12. Funding Opportunity Number:**

DOT-SS4A-FY23-01

* Title:

Safe Streets and Roads for All Funding Opportunity

13. Competition Identification Number:

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

*** 15. Descriptive Title of Applicant's Project:**

City of Gering, NE Transportation Safety Action Plan

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant

* b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

17. Proposed Project:

* a. Start Date:

* b. End Date:

18. Estimated Funding (\$):

* a. Federal	<input type="text" value="200,000.00"/>
* b. Applicant	<input type="text" value="50,000.00"/>
* c. State	<input type="text"/>
* d. Local	<input type="text"/>
* e. Other	<input type="text"/>
* f. Program Income	<input type="text"/>
* g. TOTAL	<input type="text" value="250,000.00"/>

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- a. This application was made available to the State under the Executive Order 12372 Process for review on
- b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**

- Yes
- No

If "Yes", provide explanation and attach

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)**

** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:
Middle Name:
* Last Name:
Suffix:

* Title:

* Telephone Number: Fax Number:

* Email:

* Signature of Authorized Representative: 

* Date Signed:

DISCLOSURE OF LOBBYING ACTIVITIES

Complete this form to disclose lobbying activities pursuant to 31 U.S.C.1352

OMB Number: 4040-0013
Expiration Date: 02/28/2025

1. * Type of Federal Action: <input type="checkbox"/> a. contract <input checked="" type="checkbox"/> b. grant <input type="checkbox"/> c. cooperative agreement <input type="checkbox"/> d. loan <input type="checkbox"/> e. loan guarantee <input type="checkbox"/> f. loan insurance	2. * Status of Federal Action: <input type="checkbox"/> a. bid/offer/application <input checked="" type="checkbox"/> b. initial award <input type="checkbox"/> c. post-award	3. * Report Type: <input checked="" type="checkbox"/> a. initial filing <input type="checkbox"/> b. material change
4. Name and Address of Reporting Entity: <input checked="" type="checkbox"/> Prime <input type="checkbox"/> SubAwardee * Name: City of Gering * Street 1: 1025 P Street Street 2: * City: Gering State: NE: Nebraska Zip: 69341 Congressional District, if known: 3		
5. If Reporting Entity in No.4 is Subawardee, Enter Name and Address of Prime:		
6. * Federal Department/Agency: U.S. Department of Transportation	7. * Federal Program Name/Description: Safe Streets and Roads for All Discretionary Grant Program CFDA Number, if applicable: 20.939	
8. Federal Action Number, if known:	9. Award Amount, if known: \$	
10. a. Name and Address of Lobbying Registrant: Prefix * First Name Middle Name * Last Name Suffix * Street 1 Street 2 * City State Zip		
b. Individual Performing Services (including address if different from No. 10a) Prefix * First Name Middle Name * Last Name Suffix * Street 1 Street 2 * City State Zip		
11. Information requested through this form is authorized by title 31 U.S.C. section 1352. This disclosure of lobbying activities is a material representation of fact upon which reliance was placed by the tier above when the transaction was made or entered into. This disclosure is required pursuant to 31 U.S.C. 1352. This information will be reported to the Congress semi-annually and will be available for public inspection. Any person who fails to file the required disclosure shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure. * Signature: [Redacted Signature] * Name: Prefix * First Name Middle Name * Last Name Suffix Title: Mayor Telephone No.: 308-672-3915 Date: 07/10/2023		
Federal Use Only:		Authorized for Local Reproduction Standard Form - LLL (Rev. 7-37)

ASSURANCES - NON-CONSTRUCTION PROGRAMS

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Office of Management and Budget, Paperwork Reduction Project (0348-0040), Washington, DC 20503.


PLEASE DO NOT RETURN YOUR COMPLETED FORM TO THE OFFICE OF MANAGEMENT AND BUDGET. SEND IT TO THE ADDRESS PROVIDED BY THE SPONSORING AGENCY.

NOTE: Certain of these assurances may not be applicable to your project or program. If you have questions, please contact the awarding agency. Further, certain Federal awarding agencies may require applicants to certify to additional assurances. If such is the case, you will be notified.

As the duly authorized representative of the applicant, I certify that the applicant:

1. Has the legal authority to apply for Federal assistance and the institutional, managerial and financial capability (including funds sufficient to pay the non-Federal share of project cost) to ensure proper planning, management and completion of the project described in this application.
2. Will give the awarding agency, the Comptroller General of the United States and, if appropriate, the State, through any authorized representative, access to and the right to examine all records, books, papers, or documents related to the award; and will establish a proper accounting system in accordance with generally accepted accounting standards or agency directives.
3. Will establish safeguards to prohibit employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.
4. Will initiate and complete the work within the applicable time frame after receipt of approval of the awarding agency.
5. Will comply with the Intergovernmental Personnel Act of 1970 (42 U.S.C. §§4728-4763) relating to prescribed standards for merit systems for programs funded under one of the 19 statutes or regulations specified in Appendix A of OPM's Standards for a Merit System of Personnel Administration (5 C.F.R. 900, Subpart F).
6. Will comply with all Federal statutes relating to nondiscrimination. These include but are not limited to: (a) Title VI of the Civil Rights Act of 1964 (P.L. 88-352) which prohibits discrimination on the basis of race, color or national origin; (b) Title IX of the Education Amendments of 1972, as amended (20 U.S.C. §§1681-1683, and 1685-1686), which prohibits discrimination on the basis of sex; (c) Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. §794), which prohibits discrimination on the basis of handicaps; (d) the Age Discrimination Act of 1975, as amended (42 U.S.C. §§6101-6107), which prohibits discrimination on the basis of age; (e) the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-255), as amended, relating to nondiscrimination on the basis of drug abuse; (f) the Comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970 (P.L. 91-616), as amended, relating to nondiscrimination on the basis of alcohol abuse or alcoholism; (g) §§523 and 527 of the Public Health Service Act of 1912 (42 U.S.C. §§290 dd-3 and 290 ee- 3), as amended, relating to confidentiality of alcohol and drug abuse patient records; (h) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§3601 et seq.), as amended, relating to nondiscrimination in the sale, rental or financing of housing; (i) any other nondiscrimination provisions in the specific statute(s) under which application for Federal assistance is being made; and, (j) the requirements of any other nondiscrimination statute(s) which may apply to the application.
7. Will comply, or has already complied, with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of Federal or federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of Federal participation in purchases.
8. Will comply, as applicable, with provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds.

9. Will comply, as applicable, with the provisions of the Davis-Bacon Act (40 U.S.C. §§276a to 276a-7), the Copeland Act (40 U.S.C. §276c and 18 U.S.C. §874), and the Contract Work Hours and Safety Standards Act (40 U.S.C. §§327-333), regarding labor standards for federally-assisted construction subagreements.
10. Will comply, if applicable, with flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973 (P.L. 93-234) which requires recipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more.
11. Will comply with environmental standards which may be prescribed pursuant to the following: (a) institution of environmental quality control measures under the National Environmental Policy Act of 1969 (P.L. 91-190) and Executive Order (EO) 11514; (b) notification of violating facilities pursuant to EO 11738; (c) protection of wetlands pursuant to EO 11990; (d) evaluation of flood hazards in floodplains in accordance with EO 11988; (e) assurance of project consistency with the approved State management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.); (f) conformity of Federal actions to State (Clean Air) Implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); (g) protection of underground sources of drinking water under the Safe Drinking Water Act of 1974, as amended (P.L. 93-523); and, (h) protection of endangered species under the Endangered Species Act of 1973, as amended (P.L. 93-205).
12. Will comply with the Wild and Scenic Rivers Act of 1968 (16 U.S.C. §§1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.
13. Will assist the awarding agency in assuring compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. §470), EO 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. §§469a-1 et seq.).
14. Will comply with P.L. 93-348 regarding the protection of human subjects involved in research, development, and related activities supported by this award of assistance.
15. Will comply with the Laboratory Animal Welfare Act of 1966 (P.L. 89-544, as amended, 7 U.S.C. §§2131 et seq.) pertaining to the care, handling, and treatment of warm blooded animals held for research, teaching, or other activities supported by this award of assistance.
16. Will comply with the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. §§4801 et seq.) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.
17. Will cause to be performed the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and OMB Circular No. A-133, "Audits of States, Local Governments, and Non-Profit Organizations."
18. Will comply with all applicable requirements of all other Federal laws, executive orders, regulations, and policies governing this program.
19. Will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act (TVPA) of 2000, as amended (22 U.S.C. 7104) which prohibits grant award recipients or a sub-recipient from (1) Engaging in severe forms of trafficking in persons during the period of time that the award is in effect (2) Procuring a commercial sex act during the period of time that the award is in effect or (3) Using forced labor in the performance of the award or subawards under the award.

SIGNATURE OF AUTHORIZED CERTIFYING OFFICIAL 	TITLE Mayor
APPLICANT ORGANIZATION City of Gering, NE	DATE SUBMITTED 07/10/2023



City of Gering, Nebraska

1025 P Street • P.O. Box 687 • Gering, NE 69341 • (308) 436-5096

July 6, 2023

Office of Policy Development, Strategic Planning, and Performance
U.S. Department of Transportation
1200 New Jersey Ave, SE
Washington, DC 20590

RE: Safe Street and Roads for All (SS4A)
Action Planning Application
Policy Statement

SS4A Program Administrators,

The City of Gering, Nebraska has taken many steps over the years to improve safety throughout our community; however, our safety needs are greater than the funds we have available. This is why we are pursuing additional funding through the SS4A program. The additional funding will enable Alliance to further improve safety in our community. We are excited to complete an Action Plan, a demonstration project, and subsequent projects with a goal of eliminating traffic fatalities and serious injuries in our city by 2030. With your assistance, we can make this goal a reality.

Sincerely,

Kent Ewing, Mayor
City of Gering, NE

Cc: Annie Folck, City Engineer

June 20, 2023

Planning Commission Meeting

Minutes

(Relevant to all Current Business agenda items
and both Public Hearings)

CITY OF GERING PLANNING COMMISSION MEETING June 20, 2023

A regular meeting of the City of Gering Planning Commission was held in open session on June 20, 2023, at 6:00 p.m. in the Gering City Hall Council Chambers at 1025 P Street, Gering, NE. Present were Chairman Miles and Commissioners Taylor, Palm, Kaufman, Keener, and Hauck. Absent were Commissioners Kautz, Shimic, and Alvizar. Also present were City Engineer Annie Folck and Secretary Carol Martin.

Notice of the meeting was given in advance by publication in the Star-Herald, the designated method of giving notice. All proceedings hereafter were taken while the meeting was open to the attendance of the public.

Call to Order and Roll Call

Chairman Miles called the meeting to order at 6:00 p.m.

1. Pledge of Allegiance

2. Open Meetings Act - Neb. Rev. Stat. Chapter 84, Article 14

Chairman Miles stated as required by State Law, public bodies shall make available at least one current copy of the Open Meetings Act posted in the meeting room. Agenda items may be moved up or down on the agenda at the discretion of the Chairman. Additions may not be made to this agenda less than 24 hours before the beginning of the meeting unless they are considered under this section of the agenda and the Planning Commission determines that the matter requires emergency action.

3. Approval of Minutes of the May 2, 2023, regular Planning Commission meeting.

Motion by Commissioner Taylor to approve the minutes of the May 2, 2023, regular Planning Commission meeting. Second by Commissioner Palm. There was no discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Keener, and Hauck. "NAYS": None. Abstaining: Kaufman. Absent: Kautz, Shimic and Alvizar. Motion carried.

4. Current Business:

Engineer Folck gave a brief overview. All five agenda items are for the same property owned by Aulicks. This is for the property on 7th Street, D Street, Hwy 71, and the Pathfinder Subdivision. The first agenda item is vacating the existing lot lines. Long ago there were plans to do cluster housing which no longer fits with their long-term plans. Typically, when we vacate a property, if none of the streets or utilities have been put in, then it is fairly simple to erase the lot lines, which allows the property owners to start over and put property lines, streets, and utilities in the locations that work best for their current plan.

The next couple of agenda items are Preliminary and Final plats. These properties were originally envisioned as having commercial property along Highway 71 with residential to the north of that between the existing neighborhood and commercial along Highway 71. The plan, as she understands it, will be phased. For Phase 1, they want to develop commercial lots and that is what the Planning Commission will primarily talk about tonight. There is a lot of public interest in this area for the container home development which she believes is still in the works, but none of

that is being discussed tonight. It will all have to go through the Planning Commission process. Everyone will be notified when we get to that point, and the public can weigh in with public comments.

- A. **Consider a Petition to Vacate Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village**

**CITY OF GERING
PLANNING COMMISSION RECOMMENDATION AND REPORT**

To:	Planning Commission	Date:	6/20/23
From:	Planning & Community Development	Zoning:	RM
Subject:	Consider Vacation of Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village, City of Gering, Scotts Bluff County, Nebraska	Property Size:	16.21 Acres
Location:	North of Highway 71 and east of 7 th Street (County Road 22)	#Lots/Parcels:	1
Owner:	AKAJRV 314 LLC		

This property has recently been sold to new owners who are planning on developing the property for housing. They are planning on having a different layout than what was previously platted and thus have requested that the City vacate the previous platting of the property. None of the streets have been constructed and none of the lots have been built on, so by vacating the property, essentially it will all become part of one larger lot again, which can then be subdivided in a way that will allow the new owners to move forward with their plans. Staff recommends approval of the vacation.

Recommendation

Approve Move to recommend approval of the vacation of Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village, City of Gering, Scotts Bluff County, Nebraska to City Council

Deny Move to recommend denial of the vacation of Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village, City of Gering, Scotts Bluff County, Nebraska to City Council for the following reasons:

Table Move to table a recommendation for the vacation of Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village, City of Gering, Scotts Bluff County, Nebraska to City Council for the following reasons:

The City has a request from the property owners to vacate the Southfield Village plat. The previous layout for the streets and utilities is not in keeping with what the current property owners want to do there. The plan is to vacate and it will revert back to unplatted land. When they are ready to bring it forward with their planned development, they won't have to work around the

existing rights-of-ways, easements, and everything that is there from the existing plat. Staff recommends approval of vacating.

Motion by Commissioner Palm to approve a Petition to Vacate Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village. Seconded by Commissioner Keener. There was no discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

B. Consider Preliminary Plat, MonumentAUL Subdivision

**CITY OF GERING
PLANNING COMMISSION RECOMMENDATION AND REPORT**

To:	Planning Commission	Date:	6/20/23
From:	Planning & Community Development	Zoning:	RM
Subject:	Consider Preliminary Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska	Property Size:	
Location:	North of Highway 71 and east of 7 th Street (County Road 22)	#Lots/Parcels:	1
Owner:	AKAJRV 314 LLC		

The City has received an application for a preliminary and final plat for the property located north of Highway 71, between 7th Street and Rundell Road. The concept for the preliminary plat is for commercial development adjacent to the highway and residential development between the commercial properties and the Pathfinder Subdivision to the north. There would be a long, linear area for stormwater retention/utility access that would provide a buffer between commercial and residential uses. There is also a park/green space that would serve as additional stormwater retention. Due to Highway 71 being a controlled access highway, a frontage road, called Hiram Scott Drive, is proposed to provide access to all of the commercial lots. Utilities are already existing within the utility easement that would be provided in Lot 9, however, an additional waterline and fire hydrants would be provided along Hiram Scott Drive to provide easier access to water for each of these properties. Staff recommends approval of this preliminary plat.

Recommendation

Approve

Approve the Preliminary Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Deny

Deny the Preliminary Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land, and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Table

Table the Preliminary Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land, and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Engineer Folck stated this project comes in phases. The Preliminary plat primarily for the first phase will show how all the utilities and everything will connect so we don't inadvertently leave anything landlocked or any lots that doesn't have access to utilities and street access. With this property, some utilities are existing. There is a twelve-inch water main, and a large sewer interceptor as well that runs right through this portion of the property. Lot 9 encompasses most of where the existing lines are. They're adding an easement for where those lines are so the City will have access to them. Additionally, part of this lot would be utilized for stormwater retention and green space. Staff have had conversations with them about the green space and how it would be maintained. They will either maintain it themselves or we talked about them contracting with our Parks Department to maintain it. Whether or not the City ends up maintaining it, will depend on what their expectations are for its appearance, and obviously, our Parks Department has limitations with how much they can do.

Staff has been working with the engineers and they are satisfied with the layout of all the utilities. It shows where the sanitary sewer and water will go through in the future. These will all be single-family homes we believe. There will be commercial lots along the highway. Highway 71 is a controlled access highway and the state will not approve any additional accesses off the highway. There is a proposed frontage road called Hiram Scott Drive. It will provide access to the front of all these commercial properties. The sewer will access the existing sewer line to the rear of the commercial lots They are looking at running an 8-inch water main that will go along Hiram Scott Drive and that is where all the fire hydrants will be. They are proposing a zoning change on the east end, and are also proposing an RV park. This area is already zoned for an RV Park. There is little portion that would have to be rezoned to allow for that, but that will be discussed in a future agenda item. The plans were displayed for the Commissioners on overhead screens.

Staff have done a lot of work with them to make sure they have adequate stormwater retention. They are meeting all of our requirements for the amount of stormwater retention that the City requires because when all of this develops there's going to be quite a bit of additional run-off. There is a lot that is going to be a utility corridor and also a retention area. The retention area will have some dams that divide it into additional stormwater retention areas. There's another area that will have quite a bit of retention to help make sure they're not pushing additional stormwater onto neighboring properties as it gets developed.

City staff have reviewed this, the department heads have reviewed it, and are comfortable with the Preliminary Plat and the staff would recommend approval of this Preliminary Plat.

Motion by Commissioner Taylor approve a Preliminary Plat, MonumentAUL Subdivision. Seconded by Commissioner Kaufman. There was no discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

C. Consider Final Plat, MonumentAUL Subdivision

**CITY OF GERING
PLANNING COMMISSION RECOMMENDATION AND REPORT**

To:	Planning Commission	Date:	6/20/23
From:	Planning & Community Development	Zoning:	RM
Subject:	Consider Final Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land, and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska	Property Size:	
Location:	North of Highway 71 and east of 7 th Street (County Road 22)	#Lots/Parcels:	1
Owner:	AKAJRV 314 LLC		

The City has received an application for a preliminary and final plat for the property located north of Highway 71, between 7th Street and Rundell Road. The final plat dedicates all the necessary easements for Lot 9, which encompasses the long, linear area for stormwater retention/utility access and park/green space that would serve as additional stormwater retention. It also formally dedicates the right-of-way for Hiram Scott Drive and the alley to the rear of the commercial properties. The lots meet all minimum lot requirements. Staff recommends approval of this final plat.

Recommendation

Approve

Make a positive recommendation to City Council for the Final Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Deny

Make a negative recommendation to City Council for the Final Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land, and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Table

Table a recommendation for the Final Plat for Lots 1 through 9, Block 1, MonumentAUL Subdivision, the Extension of 'A' Street, A 20' Strip of Land, and Hiram Scott Drive, in the City of Gering, Scotts Bluff County, Nebraska

Engineer Folck explained that the main difference between Preliminary and Final Plats. The Preliminary Plat shows all the lots in context with the entire project and on the Final Plat we don't have any of the Phase 2 showing the other layout of future lots, and it also doesn't show utilities or any of that information. This is just a legal Document that gets recorded at the Register of Deeds to actually set the property boundaries, and dedicates the easements and rights-of-way. As long as the Final Plat conforms substantially to the Preliminary Plat, approval is recommended. Having reviewed this and having them come in concurrently, staff recommends approval of the Final Plat.

Motion by Commissioner Palm approve a Final Plat, MonumentAUL Subdivision. Seconded by Commissioner Keener.

Discussion: Commissioner Palm asked if the easement rights of Highway 71 conformed to the State right-of-way. Engineer Folck answered yes, it all conforms to the State right-of-way. Commissioner Kaufman asked if all of this conforms with the Comprehensive Plan. Engineer Folck replied yes, which she'll get into a little more when they talk about the zone changes. Commissioner Keener asked if Hiram Scott Drive will be paved. Engineer Folck answered that the details on the Preliminary Plat are just standard City specs for a paved road. It will be concrete and meet all City specs for width, slope, curb and gutter, etc.

The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

- D. **Public Hearing to consider a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District**

**CITY OF GERING
PLANNING COMMISSION RECOMMENDATION AND REPORT**

To:	Planning Commission	Date:	6/20/23
From:	Planning & Community Development	Zoning:	
Subject:	Consider Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6 th P.M. from C-3 General Commercial District to RM Residential Medium Density District	Property Size:	6.89 Acres
Location:	North of Highway 71 and east of 7 th Street (County Road 22)	#Lots/Parcels:	1
Owner:	AKAJRV 314 LLC		

Currently, the western edge of the property that is to be developed as MonumentAUL Subdivision is zoned C-3 (see map). The property owners would like to keep all of the property south of Lot 9, the retention and utility corridor, commercial, and all of the property to the north of Lot 9 residential. To do so, they will need a zone change for this portion of the property from C-3 General Commercial to RM Medium Density Residential. The Comprehensive Plan shows this area as being in the East Gering Neighborhood District, which is to be primarily residential. This change would be in accordance with the vision outlined in the Comprehensive Plan.

Recommendation

Approve

Make a positive recommendation to the City Council for a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District

Deny

Make a negative recommendation for a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District

Table

Table a recommendation for a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District

Chairman Miles opened a public hearing to consider a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District at 6:17 p.m.

Chairman Miles noted that there is a five-minute time limit for anyone wanting to address the Planning Commission.

Engineer Folck stated the applicant has two zone changes. What they are essentially doing is the existing zoning is currently C3 and they want to change that to single-family, noting that the area of C3 and single-family would be to the north. Engineer Folck said on the next agenda item, on the east end, it would be changing from residential and adding some C3 to allow for the RV park. Staff wanted to separate them and vote on them separately because they will affect different people differently.

This property, on the west side, in the Comprehensive Plan designated as the East Gering Neighborhood District. Primary zoning would be RL, RM, or RH. It is a neighborhood district and is envisioned primarily as residential. The existing commercial zoning along the expressway is not addressed in the Comprehensive Plan.

Chairman Miles asked if there was anyone in the Council Chambers wishing to speak regarding the zone change. With no further comments, the public hearing was closed at 6:20 p.m.

Motion by Commissioner Keener approve a Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6th P.M. from C-3 General Commercial District to RM Residential Medium Density District. Seconded by Commissioner Taylor. There was no discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

E. Public Hearing to consider a Zone Change for Lot 8 of MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District

**CITY OF GERING
PLANNING COMMISSION RECOMMENDATION AND REPORT**

To:	Planning Commission	Date:	6/20/23
From:	Planning & Community Development	Zoning:	
Subject:	Consider Zone Change for a portion of the NW ¼ of Section 12, Township 21 North, Range 55 West of the 6 th P.M. from C-3 General Commercial District to RM Residential Medium Density District	Property Size:	6.35 Acres
Location:	North of Highway 71 and east of 7 th Street (County Road 22)	#Lots/Parcels:	1

Owner:	AKAJRV 314 LLC		
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On the east end of the property that is to be subdivided as MonumentAUL Subdivision, there is a lot that is to be platted as Lot 8, Block 1. The planned use for this lot is as an RV Park, which will require a rezoning of a portion of the lot to C3, General Commercial District. While the comp plan does not specifically address the commercial uses along Highway 71, this change would be in keeping with the existing commercial zoning that is adjacent to Highway 71, and the area is roughly equal to the area on the west that is currently zoned commercial that is to be rezoned to residential. So the location of the commercial development would just change from being on the west side of the property to the east side of the property. The use as an RV park would also be in keeping with what the Comp Plan describes for the East Gering Neighborhood District by providing open space and recreational facilities.

Recommendation

Approve

Make a positive recommendation to the City Council for a Zone Change for a portion of Lot 8, Block 1, MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District

Deny

Make a negative recommendation for a Zone Change for a portion of Lot 8, Block 1, MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District

Table

Table a recommendation for a Zone Change for a portion of Lot 8, Block 1, MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District

Chairman Miles opened a public hearing to consider a Zone Change for Lot 8 of MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District at 6:22 p.m.

Engineer Folck stated this is a little more complicated because it's still in the same district in east Gering and the Comp Plan doesn't really address the Expressway. She showed what she's talking about on the overhead screen. There is not a lot of guidance on what to do along there; it is existing Commercial. In looking at this in the context of the whole property, basically what they are doing is moving some of the Heavy Commercial (from what was just recommended to be rezoned) to another side. The goal of this, and their intent, is to put an RV park there. One of the things that she would caution the Planning Commission about with the zone change is that we have to think not just about the existing use, but what it could be in the future if for some reason it wasn't an RV park anymore. Because it is already zoned C3, and is Heavy Manufacturing on the east side, staff feels it is in keeping with the original intent of the property and the original intent of the zoning. There is going to be a transition somewhere between C3 and Residential. It's a question of where that line is. The property is currently undeveloped. Staff feels it makes sense (in looking at some of the principles and policies of the Comprehensive Plan) and is not out of line with what we would expect to see there. Staff is recommending approval of the zone change on the east side.

Chairman Miles asked if there was anyone in the Council Chambers wishing to speak regarding the zone change. With no further comments, the public hearing was closed at 6:24 p.m.

Motion by Commissioner Palm to approve a Zone Change for Lot 8 of MonumentAUL Subdivision from RM Residential Medium Density District to C3 General Commercial District. Seconded by Commissioner Taylor.

Discussion: Commissioner Keener asked if access will come from M Street. Engineer Folck stated no. That primary access will be in two places. There will be access off Hiram Scott Drive and Rundell Road. The goal is to direct all of the RV traffic as much as possible through Rundell Road and Hiram Scott Drive. Chairman Miles wanted to confirm that this was part of the plan they submitted as far as buffering the area because it's a residential area. Engineer Folck stated that to do an RV Park, they will have to submit a planned development with the layout of the RV Park and the services and make sure there is landscaping and buffering. That will come before the Planning Commission before they can go forward with that.

There was no further discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

5. Engineers Report

Engineer Folck stated that there is a lot of exciting stuff on the horizon. The most notable is the Casino Project submitted to the Commission for renewal a year ago. If they don't build within two years of their initial approval, which was in September of 2021, then that approval will expire. They have had some conversations with the City of Gering that they are still planning on moving ahead and we will probably be seeing them again pretty soon. At this point, it will not be a renewal but will have to be a whole new process. That will probably be the next big meeting we have coming forward. We have not had any other applications and probably will not have a July meeting; most likely in August. Staff will keep everyone posted on the applications.

6. Adjourn

Commissioner Keener moved to adjourn the meeting. Commissioner Kaufman seconded the motion. There was no discussion. The Clerk called the roll. "AYES": Taylor, Palm, Miles, Kaufman, Keener, and Hauck. "NAYS": None. Abstaining: None. Absent: Kautz, Shimic and Alvizar. Motion carried.

The meeting adjourned at 6:28 PM.

Jody Miles, Chairman

ATTEST:

Carol Martin, Secretary

Agenda Item Summary

For the meeting of: July 10, 2023

Agenda item title: Approve Ordinance No. 2127 to Vacate Southfield Village Subdivision

Submitted by: Annie Folck, City Engineer

Explanation of the agenda item: Southfield Village was originally platted in 2015, but was never developed. The property has since been sold, and the current property owners have different plans for the property than what was originally envisioned. They have requested to vacate the Southfield Village plat, so that the property can revert back to unplatted land.

Because none of the improvements (streets, water, sewer) have been constructed yet, staff recommends approval of the vacation.

Board/Commission/Staff recommendation: Planning Commission recommended approval of the vacation at their meeting on June 20, 2023.

Does this item require the expenditure of funds?	yes	<input checked="" type="checkbox"/>	no
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Are funds budgeted?	yes	<input type="checkbox"/>	no
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If no, comments:

Estimated Amount _____

Amount Budgeted _____

Department _____

Account _____

Account Description _____

Approval of funds available: _____

City Treasurer/Finance Director

Does this item require a resolution or an ordinance?	X	yes	no
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If a resolution or ordinance is required, it must be attached.

Please list all names and addresses of those to be notified.

Approved for submittal:

Kathy Welzl

Mayor, City Council member, City Administrator, City Clerk

Referred to: Planning Commission _____ **Committee**

All Agenda Item Summaries and the required attachments are due by Noon on the Wednesday prior to the Council meeting. If the Wednesday prior to the City Council is a holiday, the deadline is Tuesday at Noon.

ORDINANCE NO. 2127

AN ORDINANCE OF THE CITY OF GERING, NEBRASKA VACATING LOTS 1-2 AND TRACT A, BLOCK 1, LOTS 1-7, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-8, BLOCK 4, LOTS 1-11, BLOCK 5, AND LOTS 1-10, BLOCK 6 OF SOUTHFIELD VILLAGE, CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA; PROVIDING FOR AN EFFECTIVE DATE HEREOF; PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF GERING, NEBRASKA THAT:

Section 1. The Amended Plat of Lots 1-6 and Tract A, Block 1, Lots 1-7, Block 2, Lots 1-7, Block 3, Lots 1-8, Block 4, Lots 1-11, Block 5, and Lots 1-10, Block 6 of Southfield Village, a Subdivision in the City of Gering, Situated in the Northwest Quarter of Section 12, Township 21 North, Range 55 West of the 6th P.M., Scotts Bluff County, Nebraska, Said Tract of Land to be Vacated along with unconstructed alleyways, easements, and streets being Clover Court, Rose Court, Daisy Court, Lily Court, Portion of 'A' Street, Southfield Drive, Brannan Street, and 393.47 feet of Mark Drive, Containing an area of 16.21 Acres, more or less., EXCEPT a 5 foot wide gas utility easement as described in Instrument 2009-2489, and EXCEPT a 20 foot drainage and utility easement shown on plat in Instrument 2015-4118, as referenced above should be vacated at the requested by the property owners, AKAJRV 314, LLC, so that the land may revert back to unplatted land. See Exhibit A for vacation drawing.

Section 2. Any ordinance or part of any ordinance in conflict with this ordinance is hereby repealed to the extent of such conflict and should any part or section of this ordinance be declared void and unenforceable, such declaration shall not render any other part void and unenforceable. This ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

Passed and approved this _____ day of July, 2023.

Kent E. Ewing, Mayor

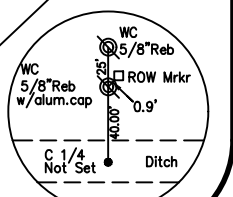
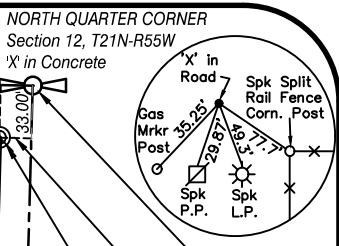
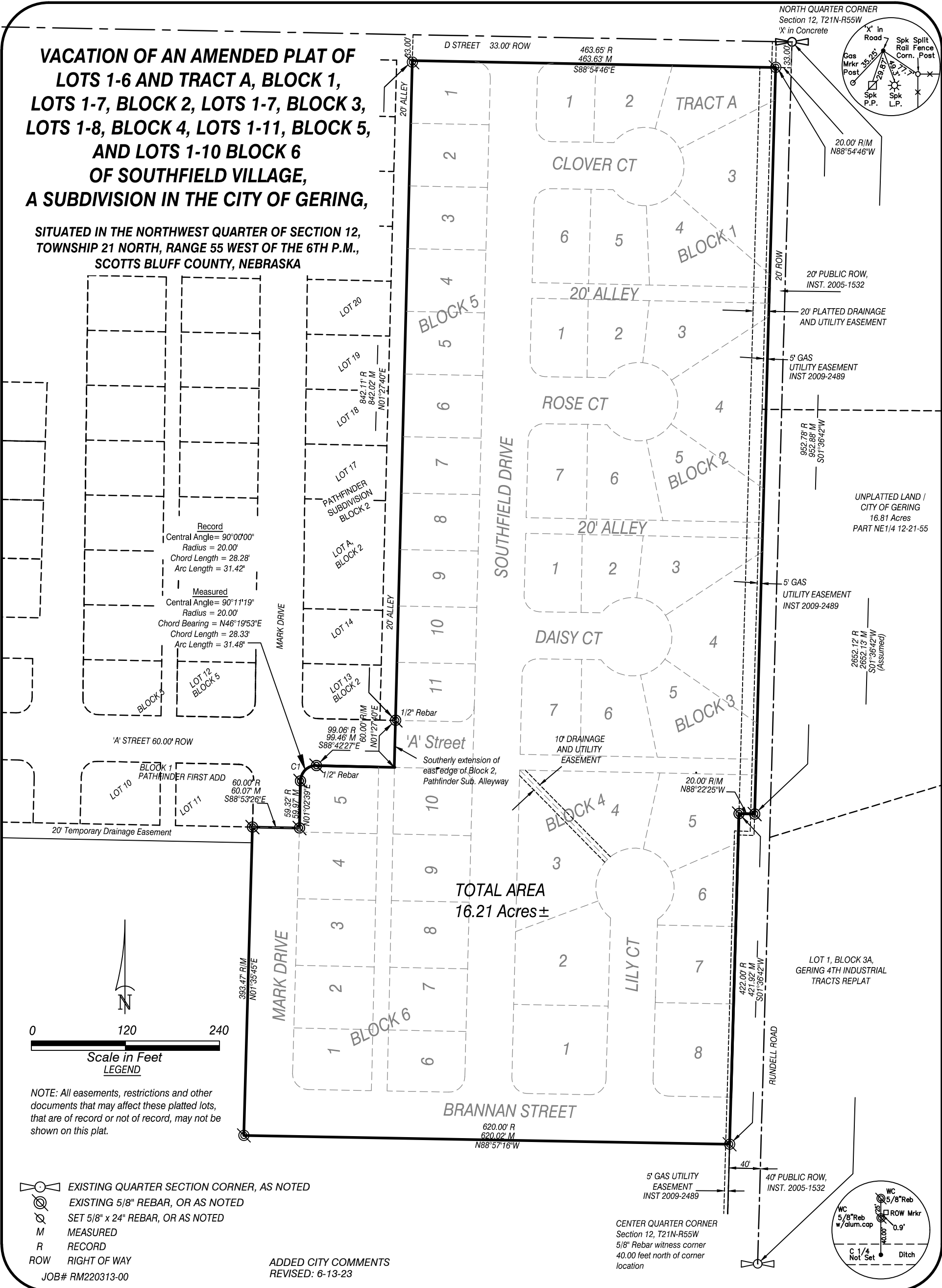
ATTEST:

Kathy J. Welfl, City Clerk

EXHIBIT A

VACATION OF AN AMENDED PLAT OF LOTS 1-6 AND TRACT A, BLOCK 1, LOTS 1-7, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-8, BLOCK 4, LOTS 1-11, BLOCK 5, AND LOTS 1-10 BLOCK 6 OF SOUTHFIELD VILLAGE, A SUBDIVISION IN THE CITY OF GERING,

SITUATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M.,
SCOTTS BLUFF COUNTY, NEBRASKA

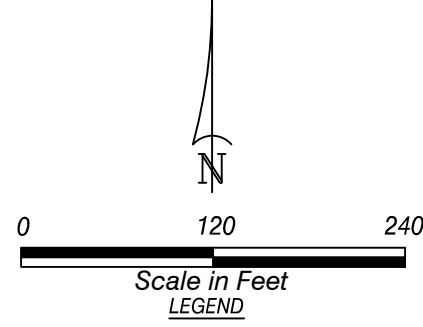


NOTE: All easements, restrictions and other documents that may affect these platted lots, that are of record or not of record, may not be shown on this plat.

- EXISTING QUARTER SECTION CORNER, AS NOTED
- EXISTING 5/8" REBAR, OR AS NOTED
- SET 5/8" x 24" REBAR, OR AS NOTED
- MEASURED
- RECORD
- RIGHT OF WAY

ADDED CITY COMMENTS
REVISED: 6-13-23

JOB# RM220313-00



LEGAL DESCRIPTION

A TRACT OF LAND FOR THE VACATION OF AN AMENDED PLAT OF LOTS 1-6 AND TRACT A, BLOCK 1, LOTS 1-7, BLOCK 2, LOTS 1-7, BLOCK 3, LOTS 1-8, BLOCK 4, LOTS 1-11, BLOCK 5, AND LOTS 1-10 BLOCK 6 OF SOUTHFIELD VILLAGE, A SUBDIVISION IN THE CITY OF GERING, SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

A TRACT OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 12, THENCE SOUTHERLY ON THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 12, ON AN ASSUMED BEARING OF S01°36'42"W, A DISTANCE OF 33.00 FEET, TO THE POINT OF INTERSECTION WITH THE SOUTH RIGHT OF WAY LINE OF D STREET, THENCE WESTERLY ON SAID RIGHT OF WAY LINE, BEARING N88°54'46"W, A DISTANCE OF 20.00 FEET, TO THE POINT OF INTERSECTION WITH THE WEST LINE OF PUBLIC RIGHT OF WAY AS DESCRIBED IN INSTRUMENT 2005-1532, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE SOUTHERLY ON SAID WEST LINE BEING 20 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 12, A DISTANCE OF 952.88 FEET MEASURED (952.78 FEET RECORD), THENCE BEARING N88°22'25"W, A DISTANCE OF 20.00 FEET (RECORD AND MEASURED) TO THE POINT OF INTERSECTION WITH THE WEST LINE OF A 40.00 FOOT PUBLIC RIGHT OF WAY AS DESCRIBED IN INSTRUMENT 2005-1532, THENCE SOUTHERLY ON SAID LINE BEING 40.00 FEET WEST OF AND PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 12, BEARING S01°36'42"W, A DISTANCE OF 421.92 FEET MEASURED (422.00 FEET RECORD) THENCE BEARING N88°57'16"W, A DISTANCE OF 620.02 FEET MEASURED (620.00 FEET RECORD), THENCE BEARING N01°35'45"E, A DISTANCE OF 393.47 FEET (RECORD AND MEASURED) TO THE POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF LOT 11, BLOCK 1, PATHFINDER FIRST ADDITION, AS RECORDED IN INSTRUMENT 2007-3058, THENCE EASTERLY ON THE SOUTH ROAD RIGHT OF WAY OF MARK DRIVE, AS RECORDED IN SAID INSTRUMENT 2007-3058, BEARING S88°53'26"E, A DISTANCE OF 60.07 FEET MEASURED (60.00 FEET RECORD), THENCE NORTHERLY ON THE EAST RIGHT OF WAY LINE OF MARK DRIVE, AS RECORDED IN SAID INSTRUMENT 2007-3058, BEARING N01°02'39"E, A DISTANCE OF 59.97 FEET MEASURED (60.00 FEET RECORD), TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET RECORD AND MEASURED, A CENTRAL ANGLE OF 90°11'19" MEASURED (90°00'00" RECORD), A CHORD BEARING OF N46°19'53"E, AND A CHORD LENGTH OF 28.33 FEET MEASURED (28.28 FEET RECORD), THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE, A DISTANCE OF 31.48 FEET MEASURED (31.42 FEET RECORD), AS RECORDED IN SAID INSTRUMENT 2007-3058, THENCE EASTERLY ON THE SOUTH RIGHT OF WAY LINE OF A STREET, AS RECORDED IN DEED BOOK 151, PAGE 346, BEARING S88°42'27"E, A DISTANCE OF 99.46 FEET MEASURED, (99.06 FEET RECORD) TO THE POINT OF INTERSECTION WITH THE SOUTHERLY EXTENSION OF THE EAST ALLEYWAY LINE OF BLOCK 2, PATHFINDER SUBDIVISION, AS RECORDED IN DEED BOOK 151, PAGE 346, THENCE NORTHERLY ON SAID EAST ALLEYWAY LINE EXTENSION, BEARING N01°27'40"E, A DISTANCE OF 60.00 FEET (RECORD AND MEASURED), THENCE CONTINUING NORTHERLY ON SAID EAST ALLEYWAY LINE, BEARING N01°27'40"E, ON SAID EAST ALLEY LINE, A DISTANCE OF 842.02 FEET MEASURED (842.11 FEET RECORD) TO THE POINT OF INTERSECTION WITH THE SOUTH 33.00 FOOT RIGHT OF WAY LINE OF D STREET, THENCE EASTERLY ON SAID SOUTH LINE, BEARING S88°54'46"E, A DISTANCE OF 463.63 FEET MEASURED (463.35 FEET RECORD) TO THE POINT OF BEGINNING, SAID TRACT OF LAND TO BE VACATED ALONG WITH UNCONSTRUCTED ALLEYWAYS, EASEMENTS AND STREETS BEING CLOVER COURT, ROSE COURT, DAISY COURT, LILY COURT, PORTION OF 'A' STREET, SOUTHFIELD DRIVE, BRANNAN STREET, AND 393.47 FEET OF MARK DRIVE, CONTAINING AN AREA OF 16.21 ACRES, MORE OR LESS.

EXCEPT A 5 FOOT WIDE GAS UTILITY EASEMENT AS DESCRIBED IN INSTRUMENT 2009-2489.

EXCEPT A 20 FOOT DRAINAGE AND UTILITY EASEMENT SHOWN ON PLAT IN INSTRUMENT 2015-4118.

CONTRACT FOR PUBLIC IMPROVEMENTS

This Contract for Public Improvements (“Contract”) is made on July ____, 2023 between **City of Gering, Nebraska**, a Municipal Corporation (the “City”) and **AKAJRV 314, LLC, a Nebraska Limited Liability Company** (“Owner”).

Recitals:

- A. Owner owns real estate described in Attachment 1. This real estate will be referred to in this Contract as the “Property.”
- B. Certain improvements in the area of the Property which are required by the Gering Municipal Code to be constructed by the Property owner have not been constructed. The parties desire to memorialize their agreement with respect to the construction of these improvements. For that purpose, Owner desires to bind itself and its successors in interest to construct the improvements in accordance with the Gering Municipal Code.

Agreement:

For good and valuable consideration, the receipt of which is acknowledged, the parties agree as follows:

- 1. Prior to Owner or any other party receiving a building permit for construction on the Property, or any part of the Property, Owner shall cause to be constructed the improvements listed in Attachment 2 (the “Improvements”), all according to the plans and specifications to be approved by the City, which approval will not be unreasonably withheld. The parties recite their understanding that the quantities described in Attachment 2 may change when the final plans and specifications are approved. The cost of these Improvements shall be paid for by the Owner.
- 2. All Improvements shall be constructed according to plans and specifications approved by the City in compliance with all ordinances and codes of the City. All the Improvements shall become the property of the City immediately upon acceptance of the Improvements by the City Council. Owner warrants such Improvements for a period of one year from the date of the City’s acceptance of the Improvements.
- 3. If the Owner fails to construct the Improvements within a reasonable time, the City may do so. Owner shall reimburse the City for all costs expended by the City in constructing such Improvements. The City may, at its option, assess all or any part of the unreimbursed cost of the Improvements against the properties benefitted by the Improvements. When any installment of special assessments is unpaid for a period of six (6) months after the same is delinquent, the City may mail written notice to Owner of that fact and demand that Owner pay such installment. If Owner fails to do so within thirty (30) days after such notice is mailed, the City may proceed by appropriate action to enforce Owner's liability as described in this paragraph. In any such action the City shall not be limited to the installments which are currently due but shall be entitled to collect the entire cost of the Improvements incurred by the City, plus interest at a rate of 12% per annum, less sums previously paid. Any forbearance by

the City to exercise any right granted to it in this Contract shall not be considered a waiver of the City's rights. Any notice under this paragraph shall be deemed properly sent if sent by certified U.S. mail, postage prepaid, to Owner at the following address:

AKAJRV 314, LLC
PO BOX 259
SCOTTSBLUFF NE 69363

- 4. Owner, for itself and on behalf of all future grantees and owners, covenants and agrees to participate in and not object to the creation of any special improvement districts that may be created to construct the Improvements. It is the intent of Owner that this paragraph bind all future grantees and owners and that this covenant and Contract runs with the Property. This paragraph and the covenants herein will not be deemed a waiver of Owner's, grantee's or lot owner's right to contest the extent to which it is benefitted by such special improvement district, or to contest the amount of any assessments levied against the Owner's, grantee's, or lot owner's property.
- 5. This Contract shall run with the Property and shall bind, in addition to the parties, the successors in interest to the Property or any portion thereof.
- 6. The parties agree to execute a Memorandum of Contract suitable for filing in the Office of the Register of Deeds of Scotts Bluff County, Nebraska, to give notice of the fact that this Contract has been executed. Owner shall reimburse the City for the costs of filing this Memorandum of Contract.

By signing below, the parties signify their agreement to the terms of this Contract.

CITY OF GERING, NEBRASKA

By _____
Kent Ewing, Mayor

Dated _____

Attest: _____
City Clerk

(seal)

AKAJRV 314, LLC, a Nebraska Limited Liability Company

By _____

Printed Name: _____

Title: _____

Dated _____

Attachment 1
Property

Lots 1-6 and Tract A, Block 1; Lots 1-7, Block 2; Lots 1-7, Block 3; Lots 1-8, Block 4; Lots 1-11, Block 5; and Lots 1-10, Block 6, Amended Plat of Southfield Village, a subdivision to the City of Gering, Scotts Bluff County, Nebraska (Scotts Bluff County Parcel ID# 010361056) and adjacent public right of way, and

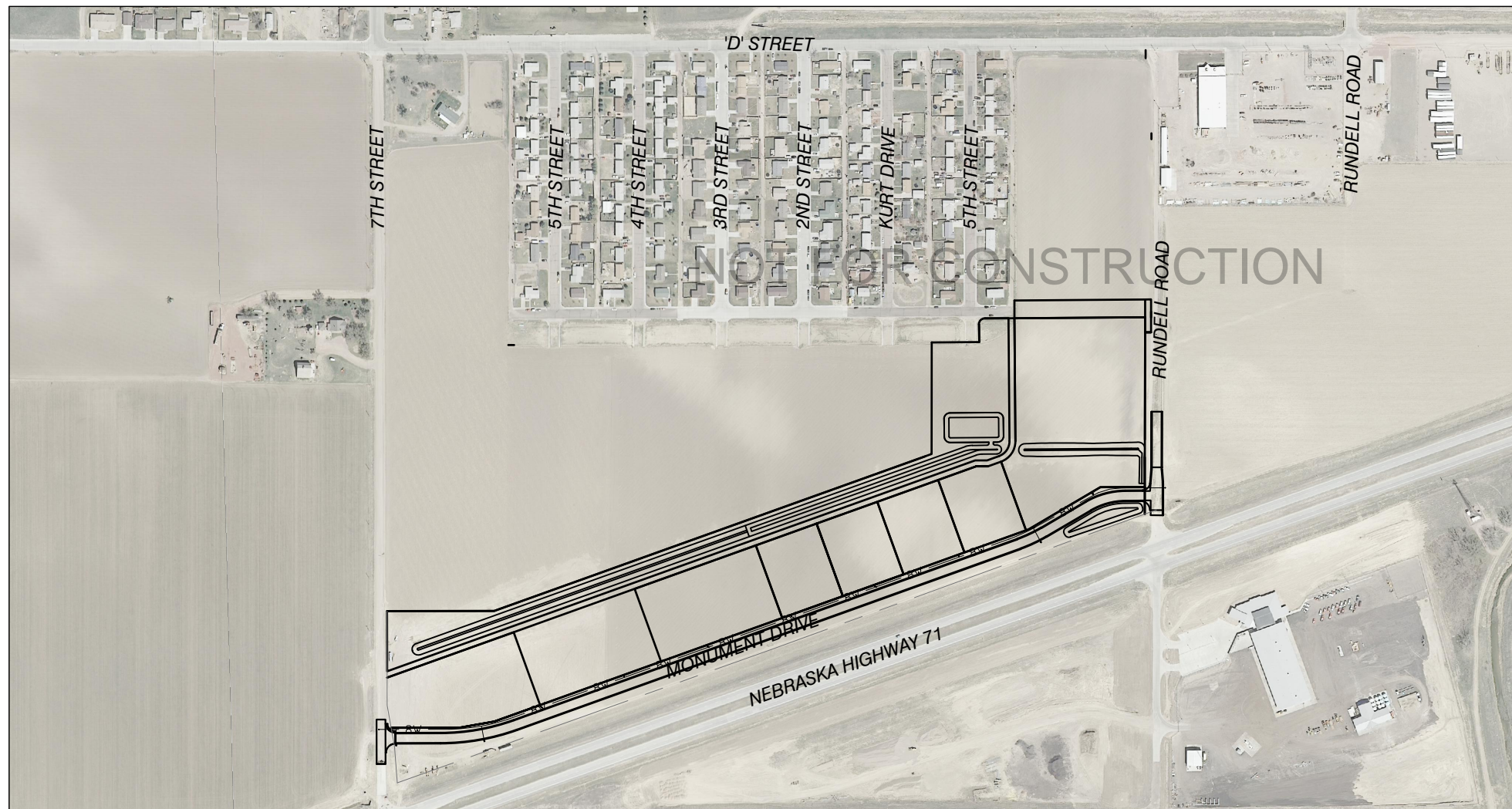
A tract of land situated in the NW1/4 of Section 12, Township 21 North, Range 55 West of the 6th P.M., Scotts Bluff County, Nebraska, more particularly described as follows: Commencing that the southwest corner of the NW1/4 of Section 12; thence Northerly on the west line of said Section, on an assumed bearing of N01°24'32"E, a distance of 422.65 feet, to the True Point of Beginning; thence continuing North on the west line of said Section, a distance of 997.51 feet, to the point of intersection with the westerly extension of the south line of Lot 2, Block 1, Gering Valley Estates, as recorded in Inst. No. 2014-3858; thence Easterly on said extension line, bearing S88°35'29"E, a distance of 442.94 feet, as measured (443.00 feet recorded) to the southeast corner of Lot 2, Block 1, Gering Valley Estates; thence Northerly on the east line of said Lot 2, bearing N01°30'51"E, a distance of 218.57 feet, to the point of intersection with the southwest corner of Block 1, Pathfinder 1st Addition, as recorded in Inst. No. 2007-3058; thence Easterly on the south line of said Block 1, Pathfinder 1st Addition, bearing S88°51'20"E, a distance of 1529.96 feet, as measured (1530.00 feet recorded), to the southeast corner of Lot 11, Block 1, Pathfinder 1st Addition, said point also being on the west right of line of Mark Drive as recorded in Inst. No. 2015-4118; thence Southerly, on the west right of line of Mark Drive, bearing S01°35'45"W, a distance of 393.47 feet, measured and recorded, to the south right of way line of Brannan Street, bearing S88°57'16"E, a distance of 620.02 feet, as measured (620.00 feet recorded) to the point of intersection with the west line of a 40 foot public right of way, as recorded in Inst. No. 2005-1532; thence Southerly on the west line of said 40 foot public right of way, bearing S01°36'42"W, a distance of 191.82 feet, to the point of intersection with the north right of way line of Highway 71 (Heartland Expressway), as recorded in Inst. No. 2003-4737; thence Southwesterly, on the north right of way line of said Highway 71, bearing S71°34'19"W, a distance of 1341.48 feet; thence continuing on the north right of way line of Highway 71, bearing S71°51'57"W, a distance of 1340.00 feet; thence northerly on said right of way line of Highway 71, bearing N02°57'02"W, a distance of 121.15 feet; thence northerly on said right of way line of Highway 71, bearing N08°25'43"W, a distance of 142.99 feet; thence Westerly on said right of way line of Highway 71, bearing N88°35'28"W, a distance of 33.00 feet, to the Point of Beginning, containing an area of 53.96 acres, more or less, (Scotts Bluff County Parcel ID# 010294198, 010019782, and 010000487) and adjacent public right of way.

Attachment 2 Improvements

Improvements to be installed include the following:

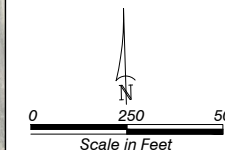
- Hiram Scott Drive between 7th Street and Rundell Road
- An 8" Water line, hydrants, and appurtenances to be installed within the Right-of-Way of Hiram Scott Drive between 7th Street and Rundell Road
- Stormwater Retention within Lot 9, Block 1, MonumentAUL Subdivision, with approximate capacity of 5,235 cubic yards of storage for stormwater runoff

MONUMENTAUL ESTATES DEVELOPMENT PHASE I - COMMERCIAL LOTS GERING, NE CONSTRUCTION PLANS



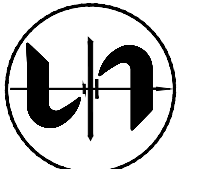
SHEET INDEX

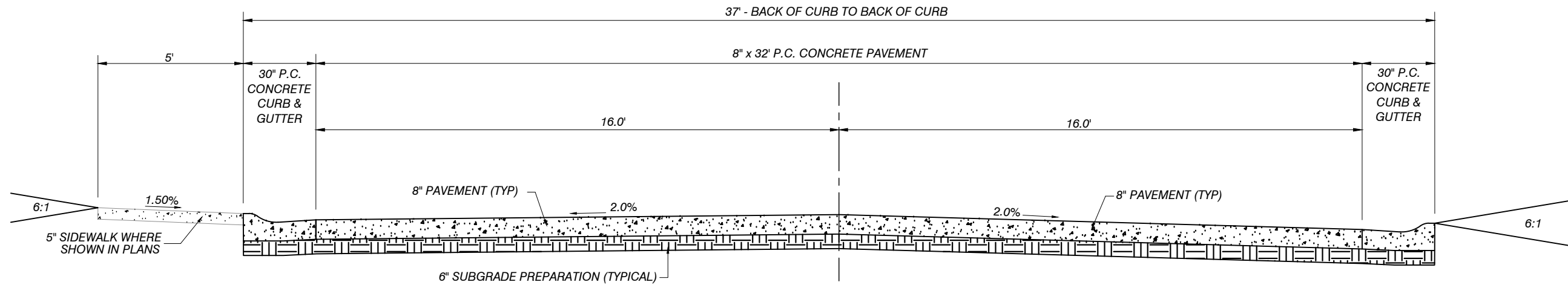
DRAWING	SHEET	DRAWING
G-1	1	COVER SHEET
2T 1-2	2-3	TYPICAL CROSS SECTIONS
LEG-1	4	LEGEND, ABBREVIATIONS, & NOTES
WAT 1-6	5-10	WATER PLANS
STM-OV	11	STORM DRAIN OVERVIEW
STM 1-6	12-17	STORM DRAIN PLANS
PP 1-8	18-25	PLAN & PROFILE
DTL 1-4	26-29	STANDARD DETAILS
STANDARD PLANS		
303	30-34	CURB RAMP DETAILS
502	35-36	SILT FENCE DETAILS



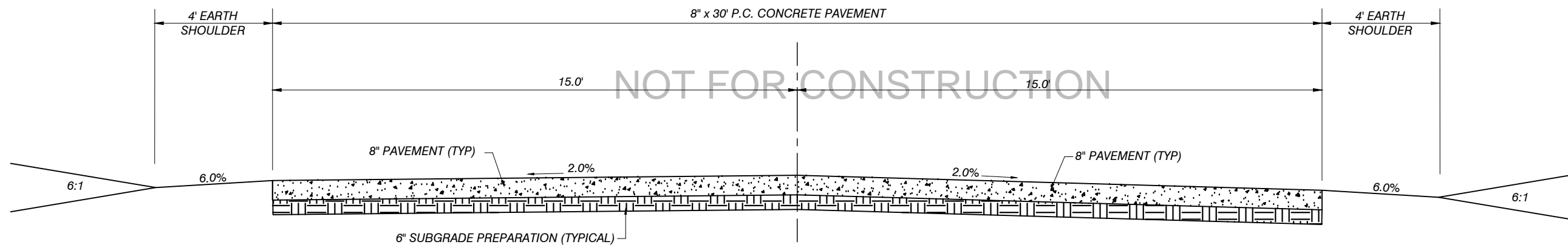
M. C. SCHAFF AND ASSOCIATES, INC.
818 SOUTH BELTLINE HIGHWAY EAST
SCOTTSBLUFF, NEBRASKA 69361

ENGINEERS ♦ PLANNERS ♦ DESIGNERS ♦ LAND SURVEYORS
PH: 308-635-1926 FAX: 308-635-7807 INTERNET: WWW.MCSCHAFF.COM





MONUMENT DRIVE
TYPICAL CROSS-SECTION OF IMPROVEMENT
STA 101+00 TO STA 128+32



7TH STREET
TYPICAL CROSS-SECTION OF IMPROVEMENT
STA 202+00 TO STA 203+50

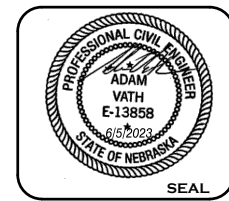
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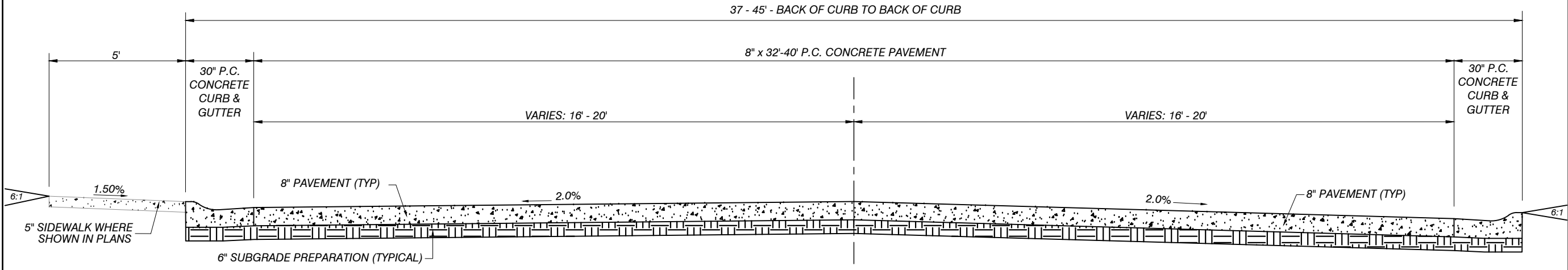
PROJECT: MONUMENTAUL ESTATES
 DEVELOPMENT
 PHASE I - COMMERCIAL LOTS
 GERING, NE
 TYPICAL CROSS-SECTION

CLIENT: AULICK INDUSTRIES

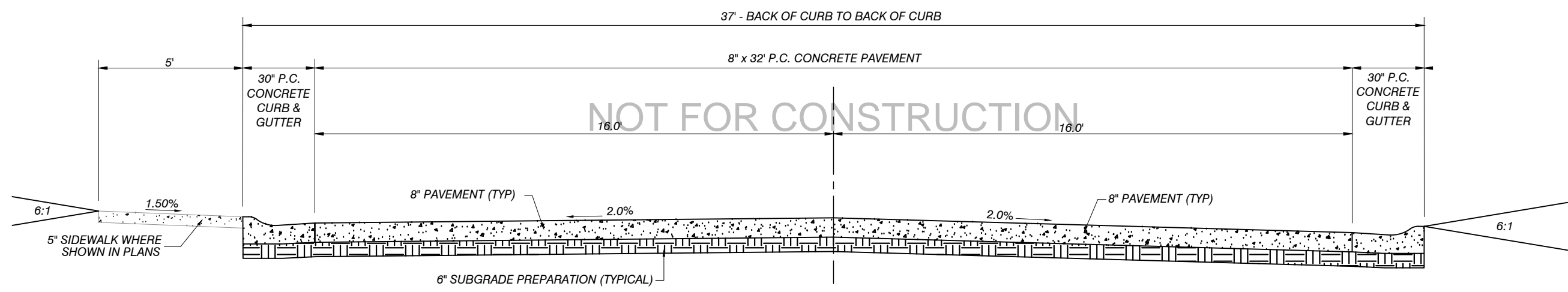
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PROJECT TEAM:	D.S./D.D./G.S.



DATE	REVISION



RUNDELL ROAD
TYPICAL CROSS-SECTION OF IMPROVEMENT
STA 301+00 TO STA 302+62



RUNDELL ROAD
TYPICAL CROSS-SECTION OF IMPROVEMENT
STA 302+62 TO STA 304+50

NOT FOR CONSTRUCTION

M. C. SCHAFF & ASSOCIATES, INC.
818 SOUTH BELTLINE HIGHWAY EAST
SCOTTSDRUFF, NEBRASKA 69361

ENGINEERS ♦ PLANNERS ♦ DESIGNERS ♦ LAND SURVEYORS
 PH: 308-635-1926 FAX: 308-635-7807 INTERNET: WWW.MCSCHAFF.COM

PROJECT: MONUMENTAUL ESTATES
 DEVELOPMENT
 PHASE I - COMMERCIAL LOTS
 GERING, NE
 TYPICAL CROSS-SECTION

CLIENT: AULICK INDUSTRIES

PROJECT NUMBER:	RM220313-00
PROJECT DATE:	4/28/2023
PROJECT MGR:	A.M.V.
PROJECT TEAM:	D.S./D.D./G.S.



DATE	REVISION

LEGEND	
SYMBOL	EXISTING
PROPERTY CORNER	
RIGHT OF WAY MARKER	
STOP SIGN	
ROAD SIGN	
DELINEATOR	
BOLLARD	
MAILBOX	
FIRE HYDRANT	
VALVE	
CURB STOP	
METER PIT	
MANHOLE	
STORM INLET	
POWER POLE	
LIGHT POLE	
GUY WIRE	
ELECTRIC TRANSFORMER	
TRAFFIC SIGNAL W/ LUMINARY	
TELEPHONE PEDESTAL	
TELEPHONE MARKER	
GAS MARKER	
CABLE TV PEDESTAL	
DECIDUOUS TREE	
CONIFER	
MONITORING WELL	
RIGHT OF WAY	
CENTERLINE	
WATER MAIN	
6" WATER MAIN	
8" WATER MAIN	
12" WATER MAIN	
12" WATER MAIN	
1" WATER SERVICE LINE	
2" WATER SERVICE LINE	
4" NONPOTABLE MAIN	
8" SANITARY SEWER	
12" SANITARY SEWER	
15" SANITARY SEWER	
STORM DRAIN	
12" STORM DRAIN	
15" STORM DRAIN	
18" STORM DRAIN	
24" STORM DRAIN	
IRRIGATION LATERAL	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
UNDERGROUND TELEPHONE	
UNDERGROUND CABLE TV	
UNDERGROUND FIBER OPTIC	
GAS MAIN	
FENCE	
EDGE OF PAVEMENT	
CURB AND GUTTER	
CONSTRUCTION LIMITS	

ABBREVIATIONS	
ADA	AMERICANS WITH DISABILITIES ACT
AUX	AUXILIARY
BB	BACK TO BACK
BDC	BEGIN DROP CURB
BL	BURY LINE
BOP	BEGINNING OF PROJECT
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CY	CUBIC YARDS
D	DEGREE OF CURVATURE
DC	TOP OF DROP CURB
DIA	DIAMETER
E	EAST, EASTING
EA	EACH
EDC	END DROP CURB
EL,ELEV	ELEVATION
FES	FLARED END SECTION
FL	FLOW LINE
FT	FEET, FOOT
HOR	HORIZONTAL
IE	INVERT ELEVATION
LBS	POUNDS
LF	LINEAL FEET
LIN	LINEAL
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
N	NORTH, NORTHING
OC	ON CENTER
OFF	OFFSET
P.C.	PORTLAND CEMENT
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PREP	PREPARATION
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE
R,RAD	RADIUS
RCCP	REINFORCED CONCRETE CULVERT PIPE
RE:	REFERENCE
REINF	REINFORCE, REINFORCING
RGSV	RESILIENT SEATED GATE VALVE
ROW	RIGHT OF WAY
RT	RIGHT
SQ	SQUARE
STA	STATION
SY	SQUARE YARDS
T	TANGENT
TC	TOP OF CURB
TEMP	TEMPORARY
TP	TOP OF PAVEMENT
TW	TOP OF SIDEWALK
TYP	TYPICAL
VER	VERTICAL
VO	VERTICAL OPERATING
VPI	VERTICAL POINT OF INTERSECTION
YDS	YARDS

GENERAL NOTES

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF ANY WORK ON THE PROJECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY PROBLEMS IN CONFORMING TO THE APPROVED PLANS FOR ANY ELEMENT OF THE PROPOSED IMPROVEMENTS PRIOR TO ITS CONSTRUCTION.

IT IS THE RESPONSIBILITY OF THE ENGINEER DURING CONSTRUCTION ACTIVITIES TO RESOLVE CONSTRUCTION PROBLEMS DUE TO CHANGED CONDITIONS, OR DESIGN ERRORS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROJECT. IF, IN THE OPINION OF THE CITY, THE MODIFICATIONS PROPOSED BY THE ENGINEER, TO THE APPROVED PLANS, INVOLVE SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE ENGINEER SHALL BE RESPONSIBLE FOR RESUBMITTING THE REVISED PLANS TO THE CITY FOR APPROVAL PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE PROJECT. ANY IMPROVEMENTS NOT CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS, OR THE APPROVED REVISED PLANS, SHALL BE REMOVED AND RECONSTRUCTED ACCORDING TO THE APPROVED PLANS.

ANY CONSTRUCTION DEBRIS OR MUD TRACKING ONTO THE PUBLIC RIGHT OF WAY, RESULTING FROM THE PROJECT, SHALL BE REMOVED IMMEDIATELY, BY THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY FIX ANY EXCAVATION, OR EXCESSIVE PAVEMENT FAILURE CAUSED BY THE FAILURE, AND SHALL PROPERLY BARRICADE THE SITE UNTIL CONSTRUCTION IS COMPLETE. FAILURE BY THE CONTRACTOR, TO CORRECT ANY OF THE ABOVE WITHIN 48 HOURS OF WRITTEN NOTICE, BY THE CITY, SHALL CAUSE THE CITY TO ISSUE A STOP WORK ORDER (RED TAG) AND/OR DO THE WORK AND MAKE A CLAIM AGAINST THE PROJECTS LETTER OF CREDIT FOR ANY COSTS INCURRED BY THE CITY.

THE CONTRACTOR SHALL BE SOLELY, AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS AT, AND ADJACENT TO THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE PERFORMANCE OF THE WORK, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, THE DUTY OF THE CITY TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING UTILITY LOCATIONS AT LEAST 48 HOURS (2 BUSINESS DAYS) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. FOR INFORMATION CONTACT DIGGERS HOTLINE: 1-800-331-5666. THE CONTRACTOR SHALL FIELD VERIFY SIZE, HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS OR OTHER DEVICES NECESSARY TO PROVIDE FOR THE PUBLIC SAFETY IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND TESTING AGENCY AT LEAST 24 HOURS PRIOR TO THE DESIRED INSPECTION.

ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION. THESE REGULATIONS ARE DESCRIBED IN SUBPART P., PART 1926 OF THE CODE OF FEDERAL REGULATIONS, UTILIZE SHEETING AND SHORING WHERE REQUIRED TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, TO TREES, OR TO ANY EXISTING STRUCTURE, WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS, THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING. EXCAVATED MATERIAL SHALL NOT BE PLACED NEARER THAN 2 FEET FROM THE SIDES OF THE TRENCH. HEAVY EQUIPMENT SHALL NOT BE PLACED NEAR THE SIDES OF THE TRENCH UNLESS THE TRENCH IS ADEQUATELY BRACED.

COMPACTION OF ALL TRENCHES AND ANY OTHER REQUIRED AREAS MUST BE ATTAINED AND THE TEST RESULTS SUBMITTED TO THE ENGINEER AND THE OWNER PRIOR TO ACCEPTANCE.

THE CONTRACTOR SHALL HAVE IN HIS/HER POSSESSION AT ALL TIMES AT LEAST ONE COPY OF THE PLANS APPROVED BY THE CITY.

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.

GENERAL DESIGN PARAMETERS	
DESIGN PRESSURE:	110 PSI

M. C. SCHAFF & ASSOCIATES, INC.
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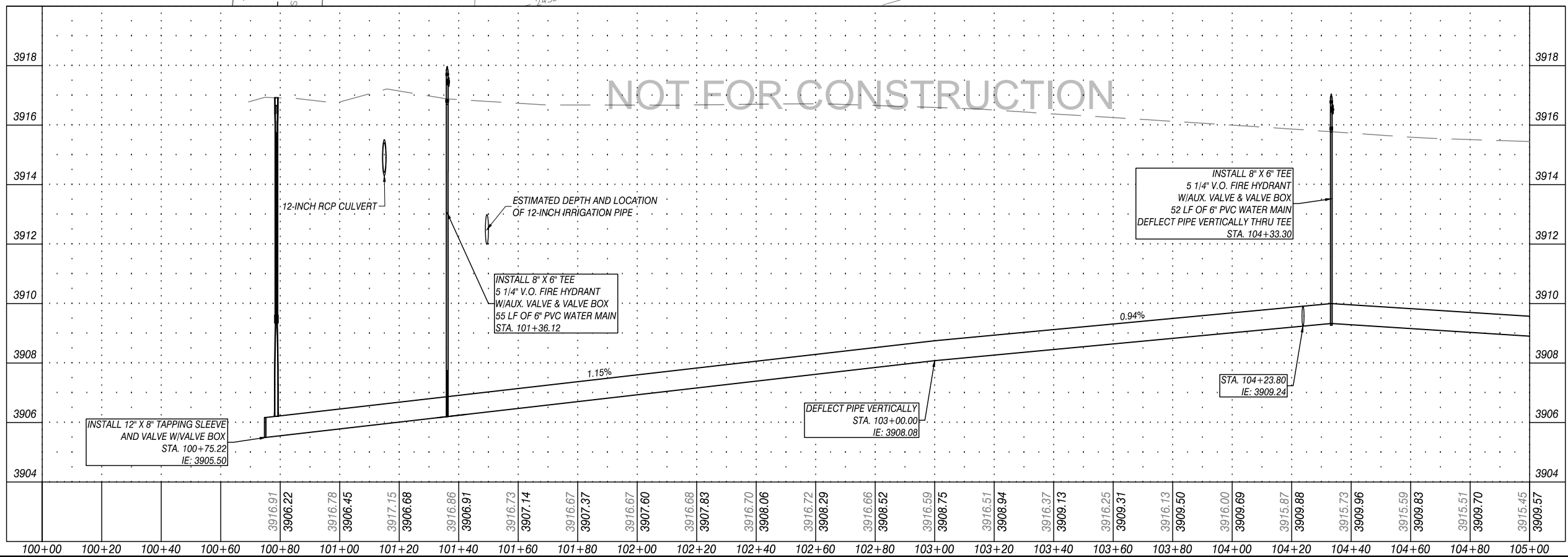
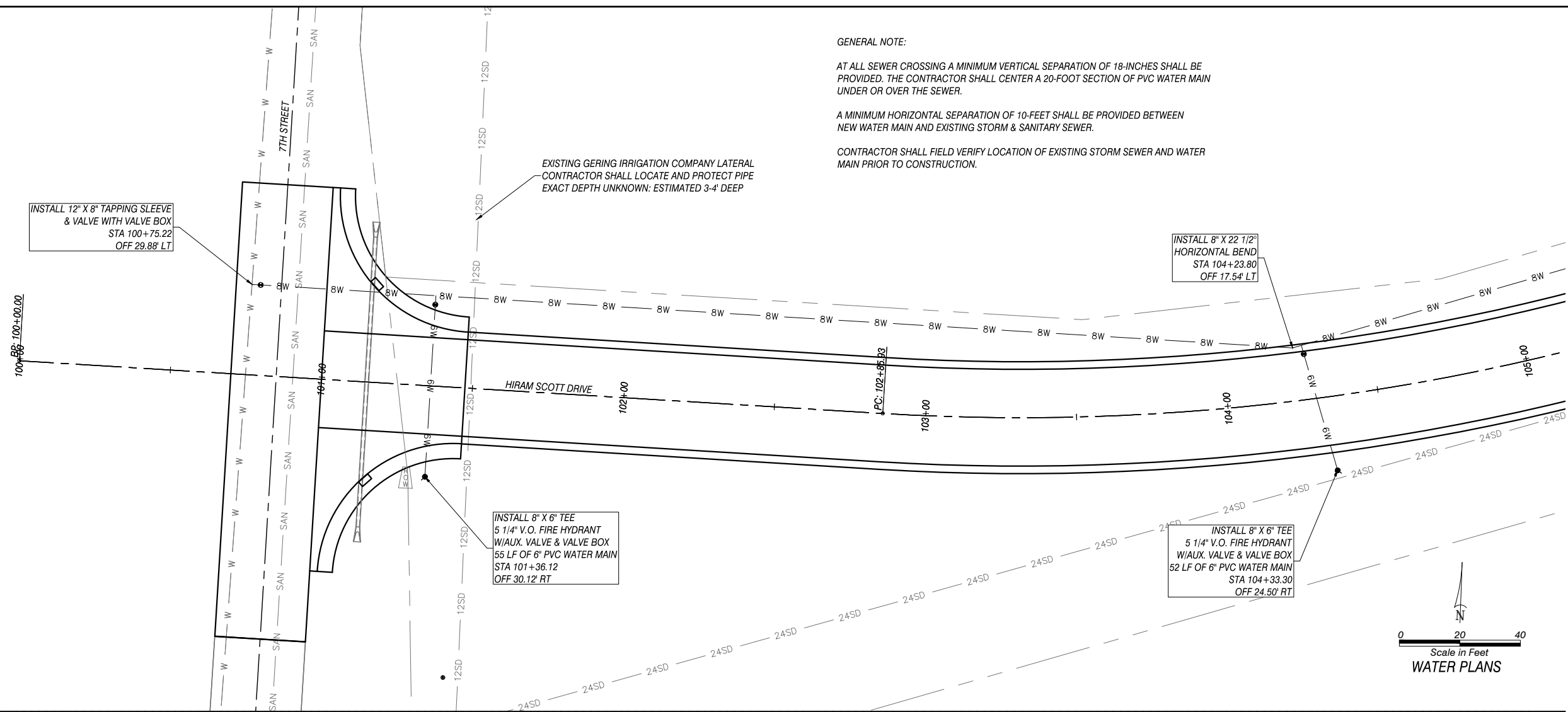
PROJECT: MONUMENTAUL ESTATES
 DEVELOPMENT
 PHASE I - COMMERCIAL LOTS
 GERING, NE
 LEGEND/ABBREVIATIONS
 GENERAL NOTES

CLIENT: AULICK INDUSTRIES

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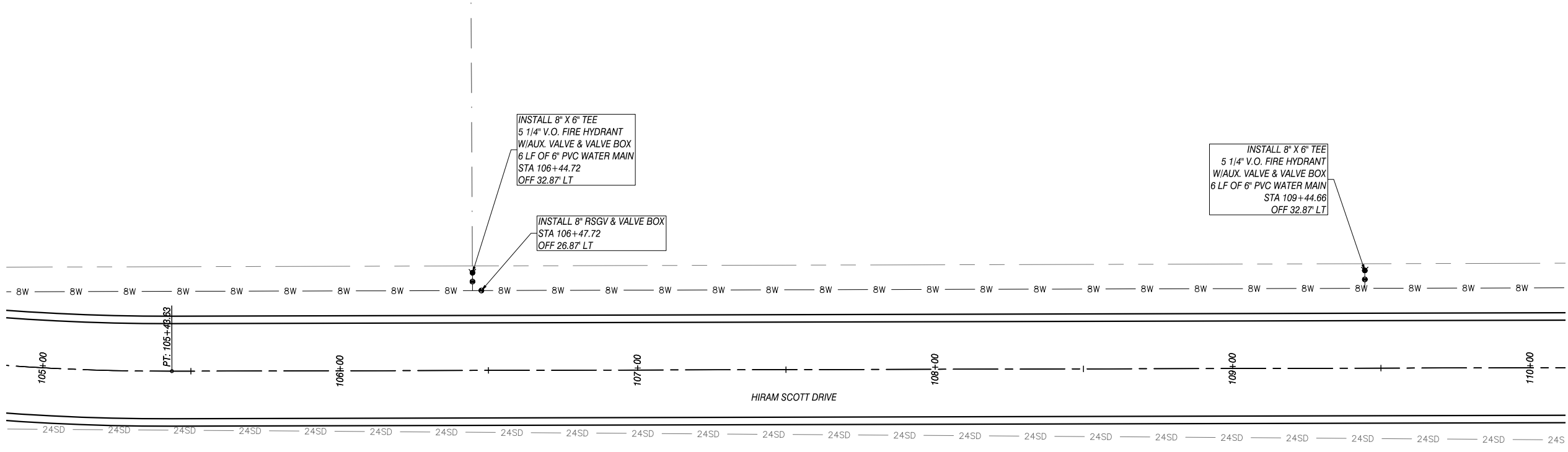
PROJECT: MONUMENTAUL ESTATES
 DEVELOPMENT
 PHASE I - COMMERCIAL LOTS
 GERING, NE
 WATER PLANS

CLIENT: AULICK INDUSTRIES

PROJECT NUMBER:
 RM220313-00
 PROJECT DATE:
 4/28/2023
 PROJECT MGR:
 A.M.V.
 PROJECT TEAM:
 D.S./D.D./G.S.

PROFESSIONAL CIVIL ENGINEER
 ADAM
 VATH
 E-13858
 6/5/2023
 STATE OF NEBRASKA
 SEAL

DATE	REVISION

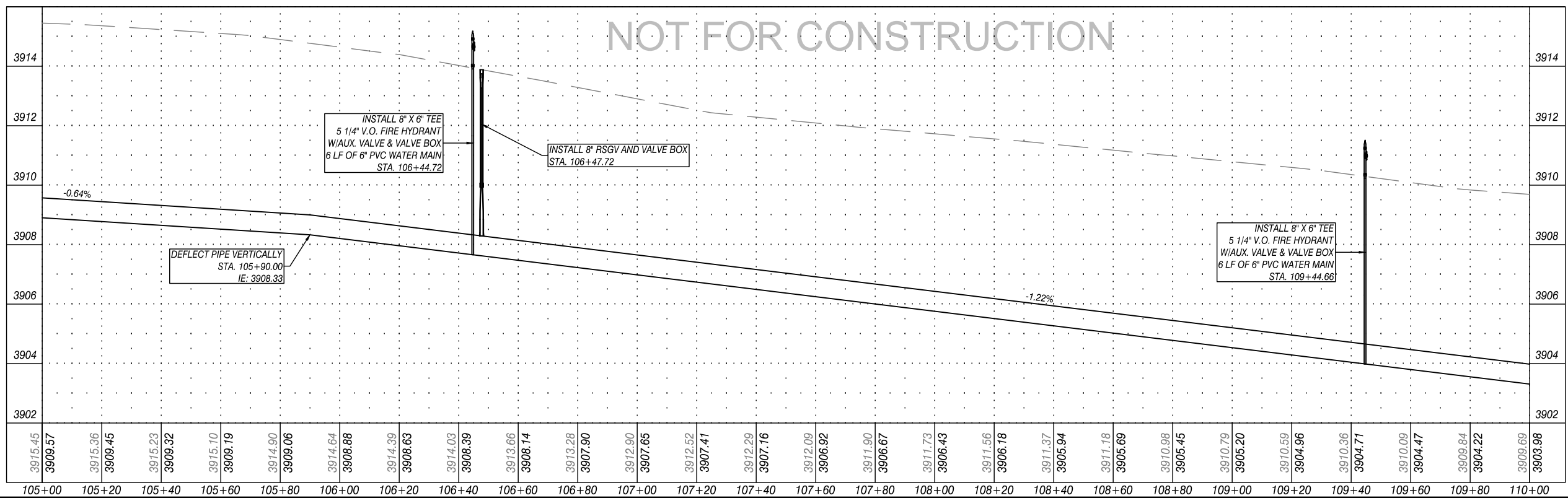
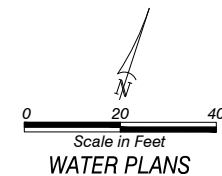


GENERAL NOTE:

AT ALL SEWER CROSSING A MINIMUM VERTICAL SEPARATION OF 18-INCHES SHALL BE PROVIDED. THE CONTRACTOR SHALL CENTER A 20-FOOT SECTION OF PVC WATER MAIN UNDER OR OVER THE SEWER.

A MINIMUM HORIZONTAL SEPARATION OF 10-FOET SHALL BE PROVIDED BETWEEN NEW WATER MAIN AND EXISTING STORM & SANITARY SEWER.

CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING STORM SEWER AND WATER MAIN PRIOR TO CONSTRUCTION.



M. C. SCHAFF & ASSOCIATES, INC.
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 SCOTTSBLUFF, NEBRASKA 69361

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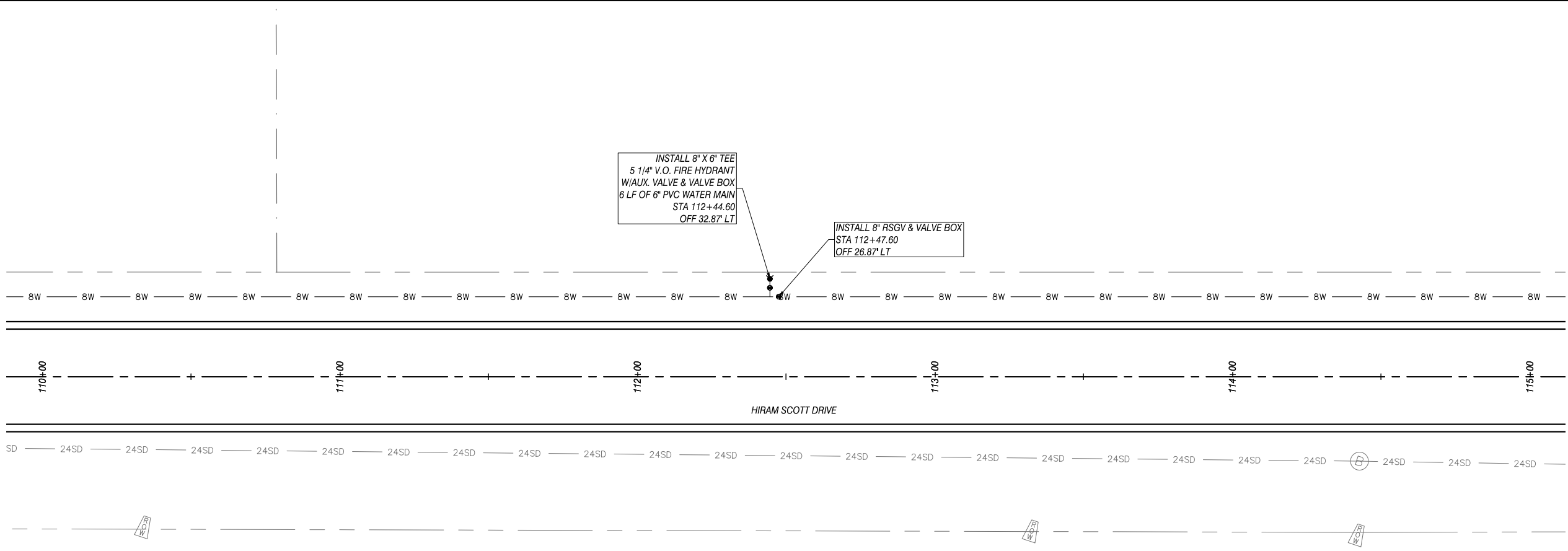
**PROJECT: MONUMENTAUL ESTATES
 DEVELOPMENT
 PHASE I - COMMERCIAL LOTS
 GERING, NE
 WATER PLANS**

CLIENT: AULICK INDUSTRIES

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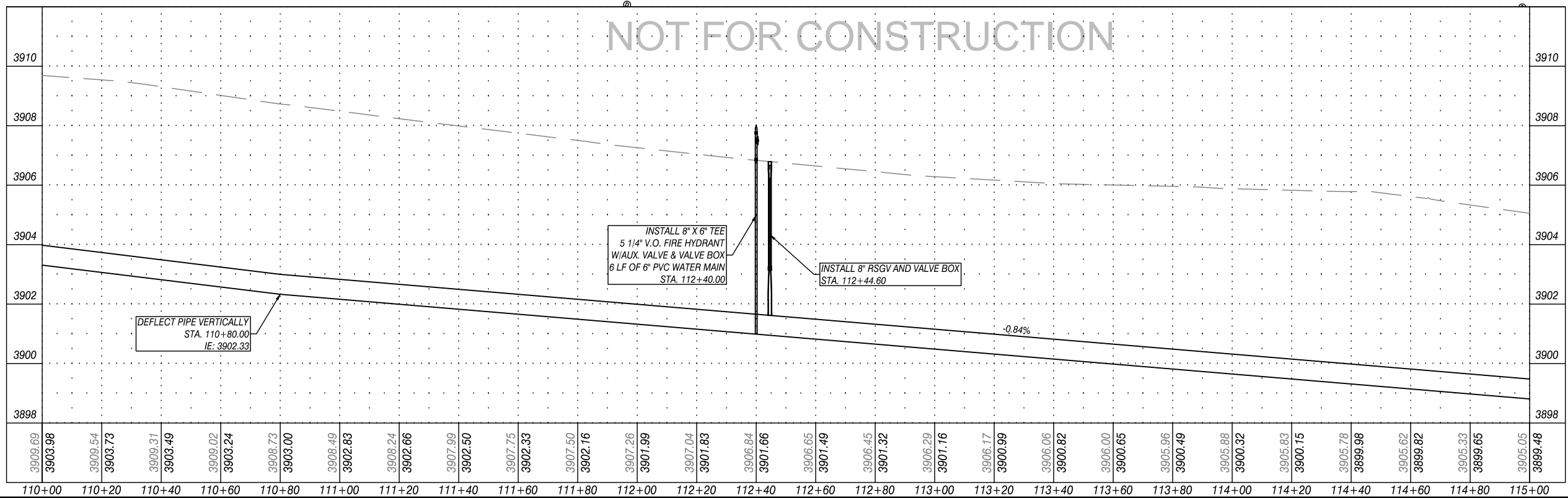
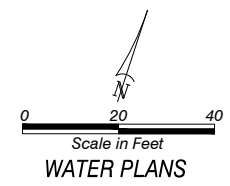


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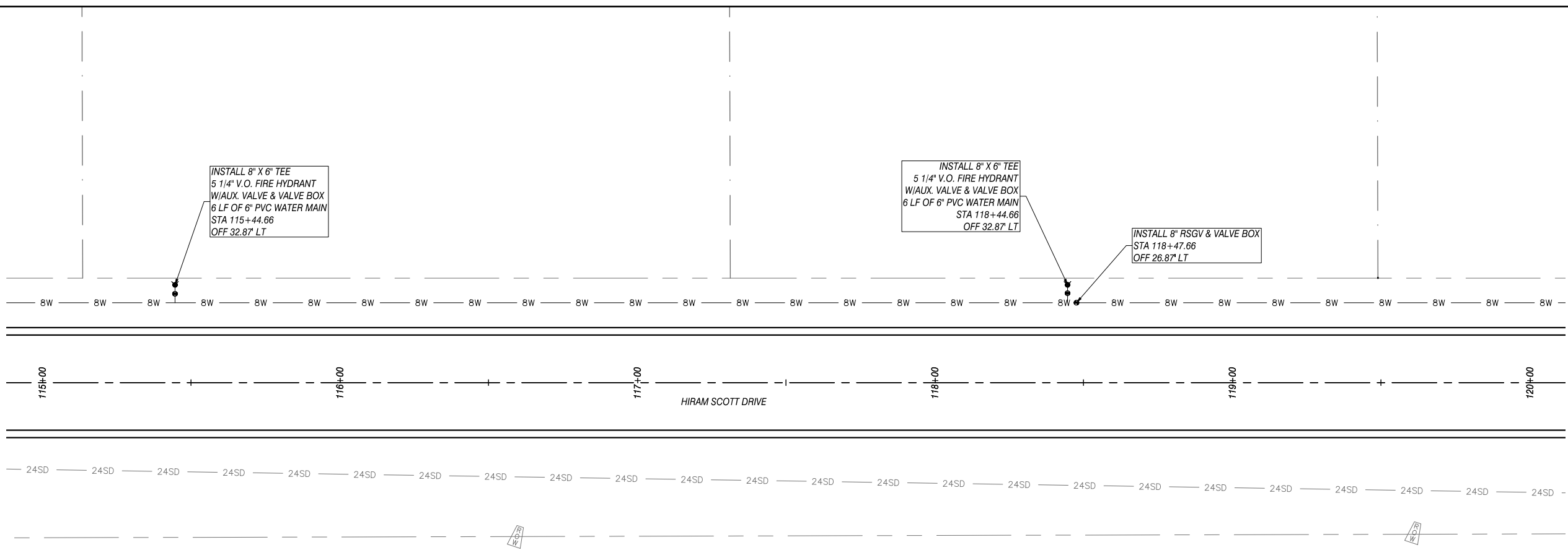
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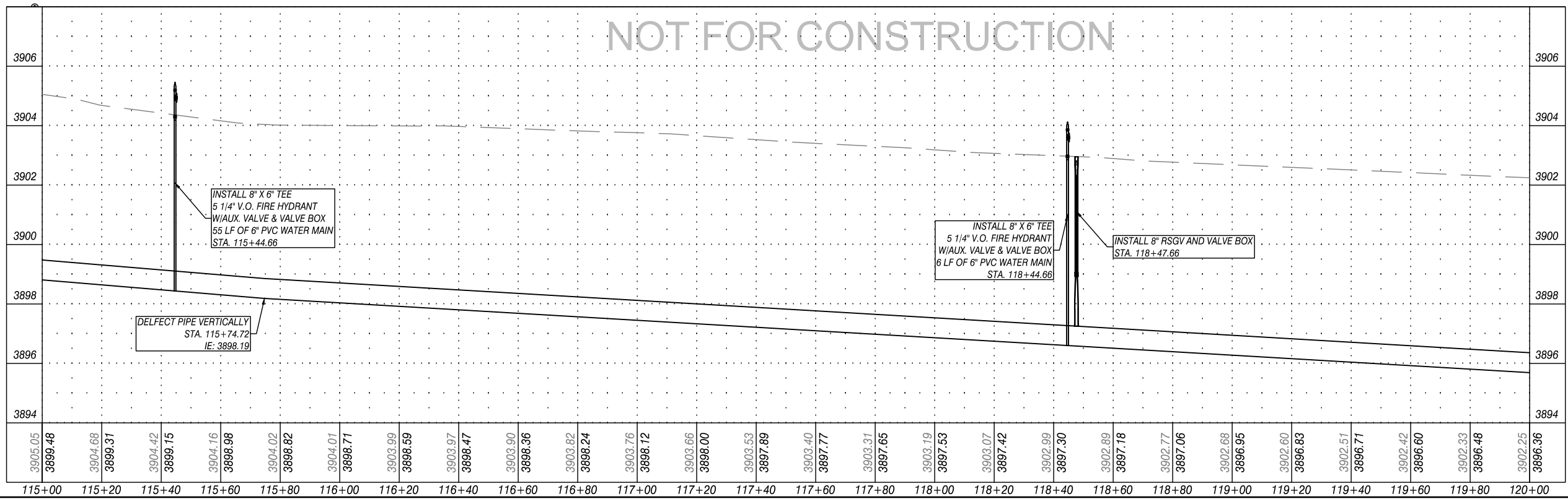
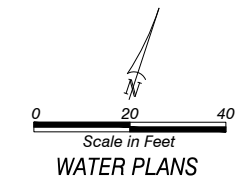
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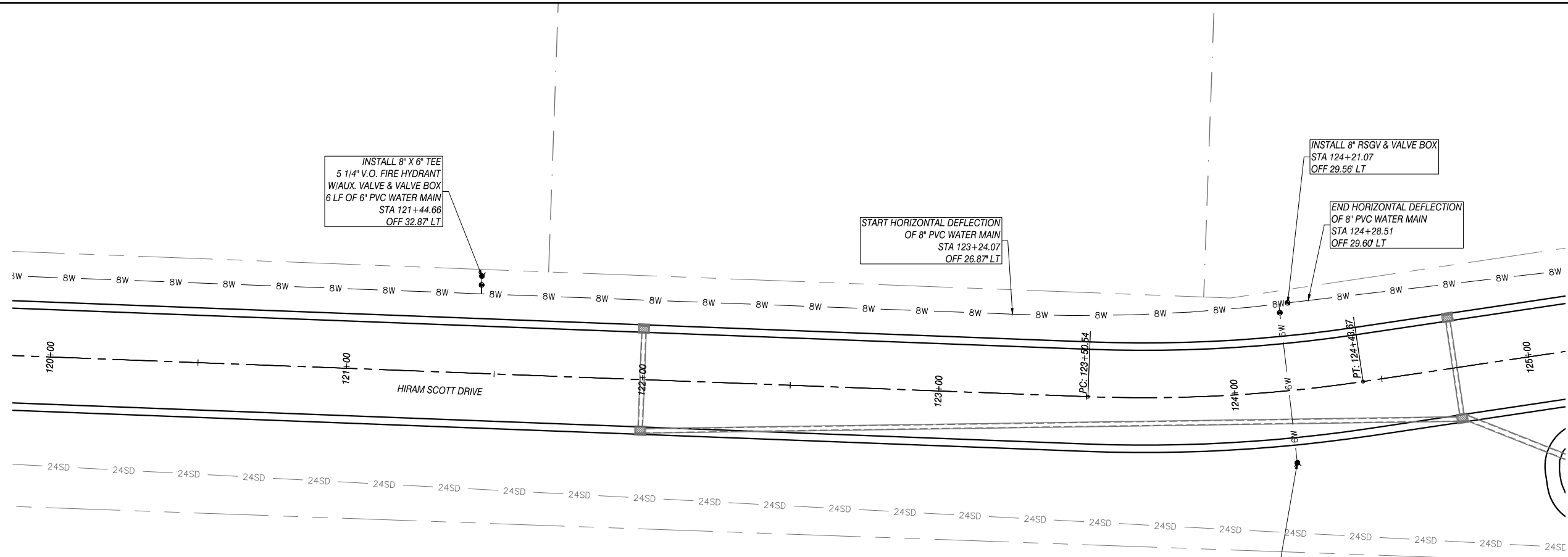
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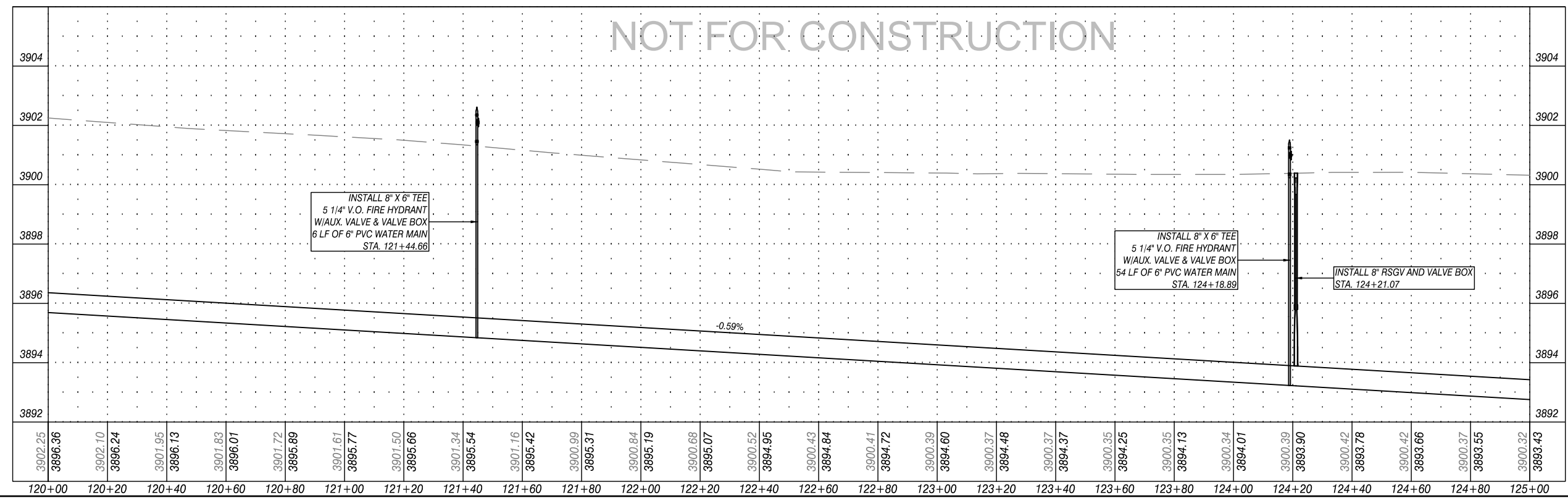
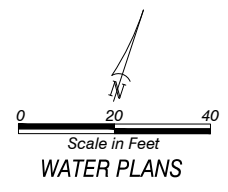


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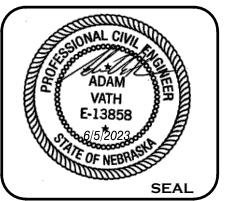
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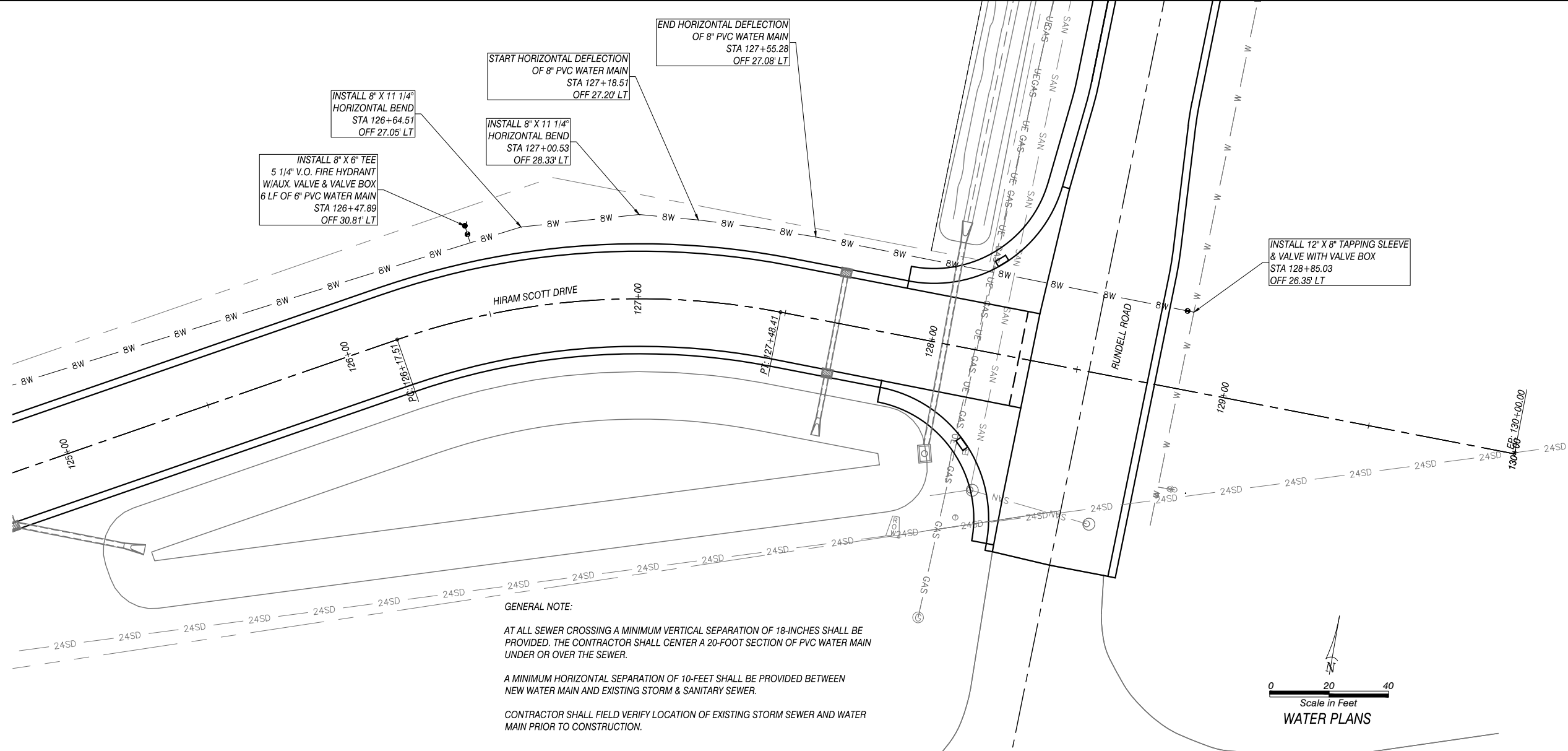
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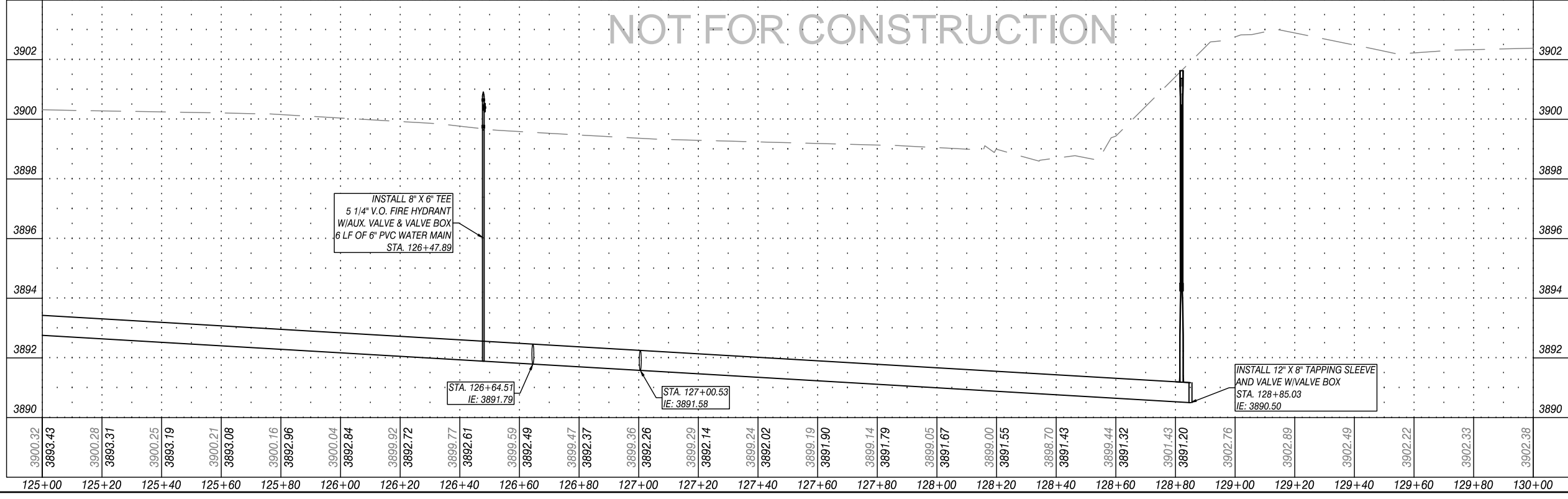
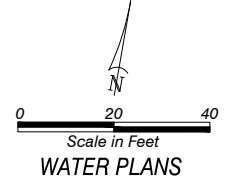


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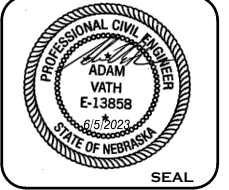
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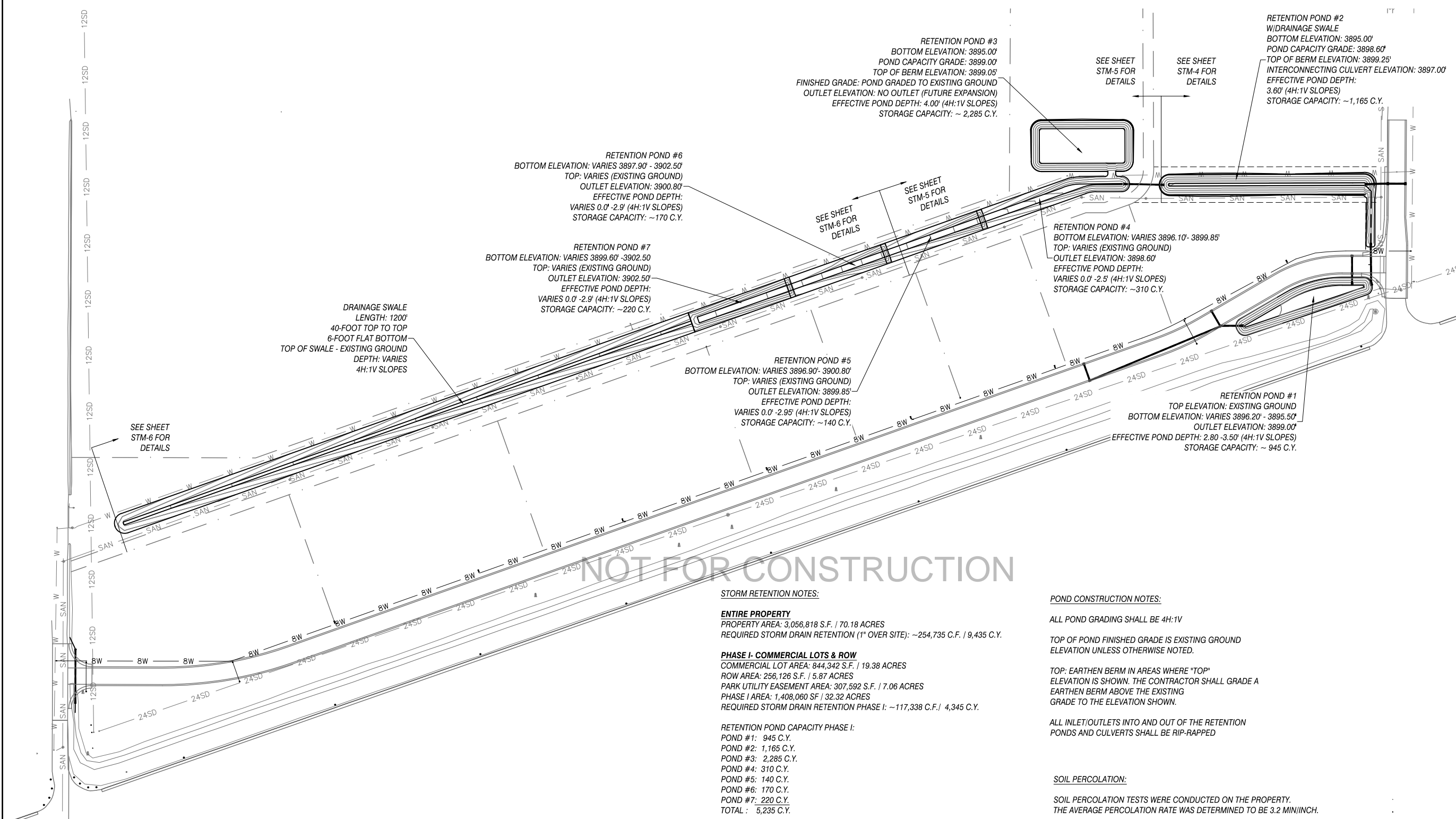
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STORM RETENTION NOTES:

ENTIRE PROPERTY
 PROPERTY AREA: 3,056,818 S.F. / 70.18 ACRES
 REQUIRED STORM DRAIN RETENTION (1" OVER SITE): ~254,735 C.F. / 9,435 C.Y.

PHASE I - COMMERCIAL LOTS & ROW
 COMMERCIAL LOT AREA: 844,342 S.F. / 19.38 ACRES
 ROW AREA: 256,126 S.F. / 5.87 ACRES
 PARK UTILITY EASEMENT AREA: 307,592 S.F. / 7.06 ACRES
 PHASE I AREA: 1,408,060 SF / 32.32 ACRES
 REQUIRED STORM DRAIN RETENTION PHASE I: ~117,338 C.F. / 4,345 C.Y.

RETENTION POND CAPACITY PHASE I:
 POND #1: 945 C.Y.
 POND #2: 1,165 C.Y.
 POND #3: 2,285 C.Y.
 POND #4: 310 C.Y.
 POND #5: 140 C.Y.
 POND #6: 170 C.Y.
 POND #7: 220 C.Y.
 TOTAL: 5,235 C.Y.

RETENTION POND #3 WILL BE EXPANDED FOR USE ON PHASE II (RESIDENTIAL LOTS). FUTURE DEVELOPMENT OF PHASE III (CONTAINER HOMES) WILL ESTABLISH A RETAINING POND ON THE NORTHEAST CORNER OF THE PROPERTY.

POND CONSTRUCTION NOTES:

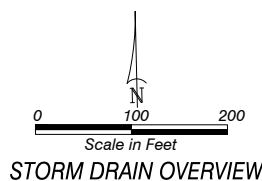
ALL POND GRADING SHALL BE 4H:1V
 TOP OF POND FINISHED GRADE IS EXISTING GROUND ELEVATION UNLESS OTHERWISE NOTED.
 TOP: EARTHEN BERM IN AREAS WHERE "TOP" ELEVATION IS SHOWN. THE CONTRACTOR SHALL GRADE A EARTHEN BERM ABOVE THE EXISTING GRADE TO THE ELEVATION SHOWN.

ALL INLET/OUTLETS INTO AND OUT OF THE RETENTION PONDS AND CULVERTS SHALL BE RIP-RAPPED

SOIL PERCOLATION:

SOIL PERCOLATION TESTS WERE CONDUCTED ON THE PROPERTY. THE AVERAGE PERCOLATION RATE WAS DETERMINED TO BE 3.2 MIN/INCH.

PERCOLATION RATE WAS NOT USED TO DETERMINE POND SIZING, IT IS PROVIDED FOR INFORMATION ONLY.



Scale in Feet
STORM DRAIN OVERVIEW

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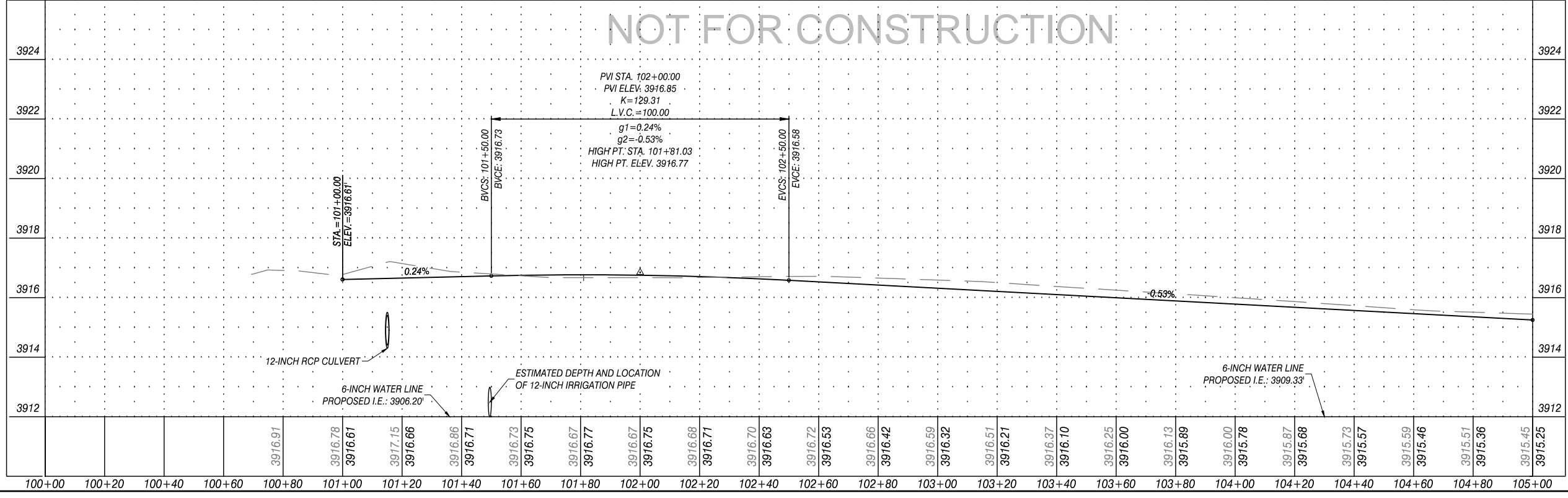
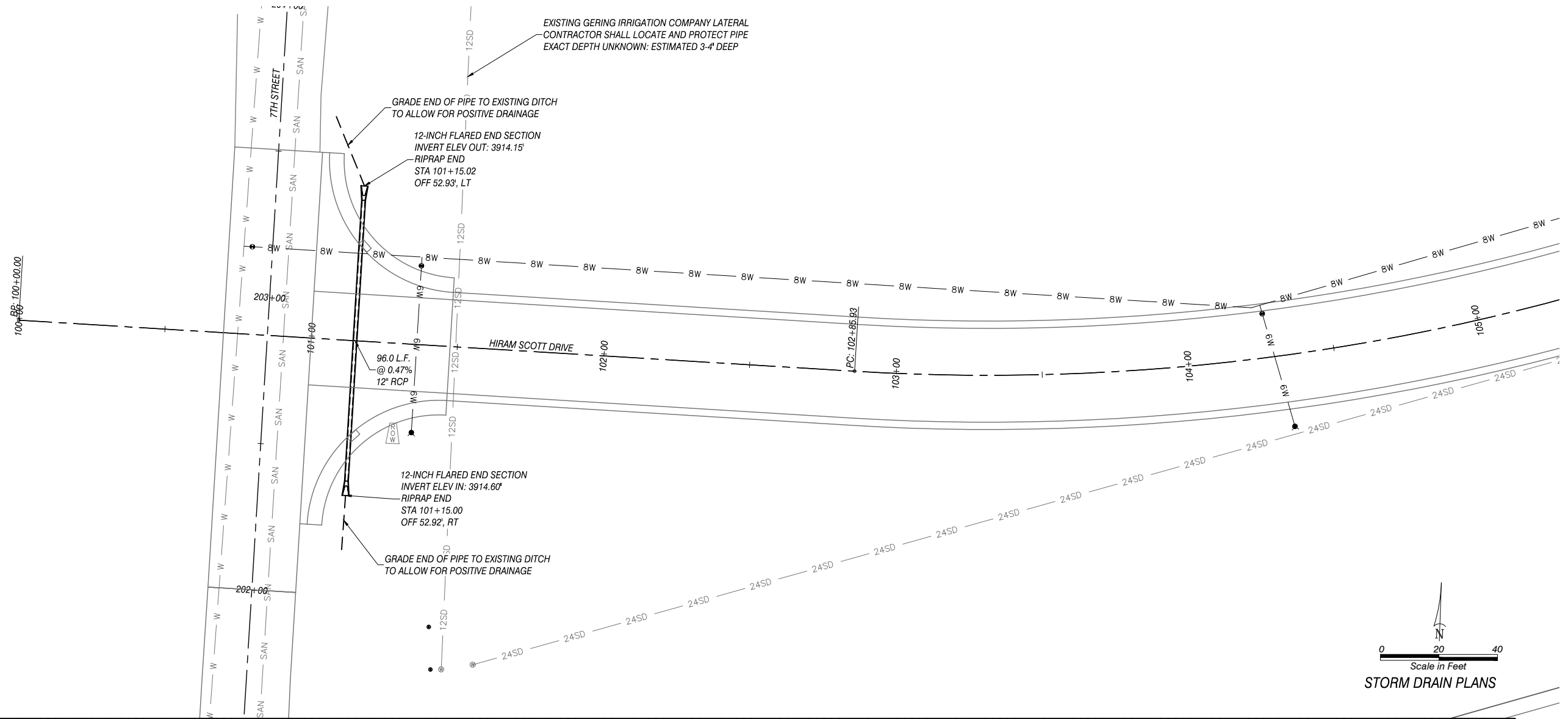
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CLIENT: AULICK INDUSTRIES

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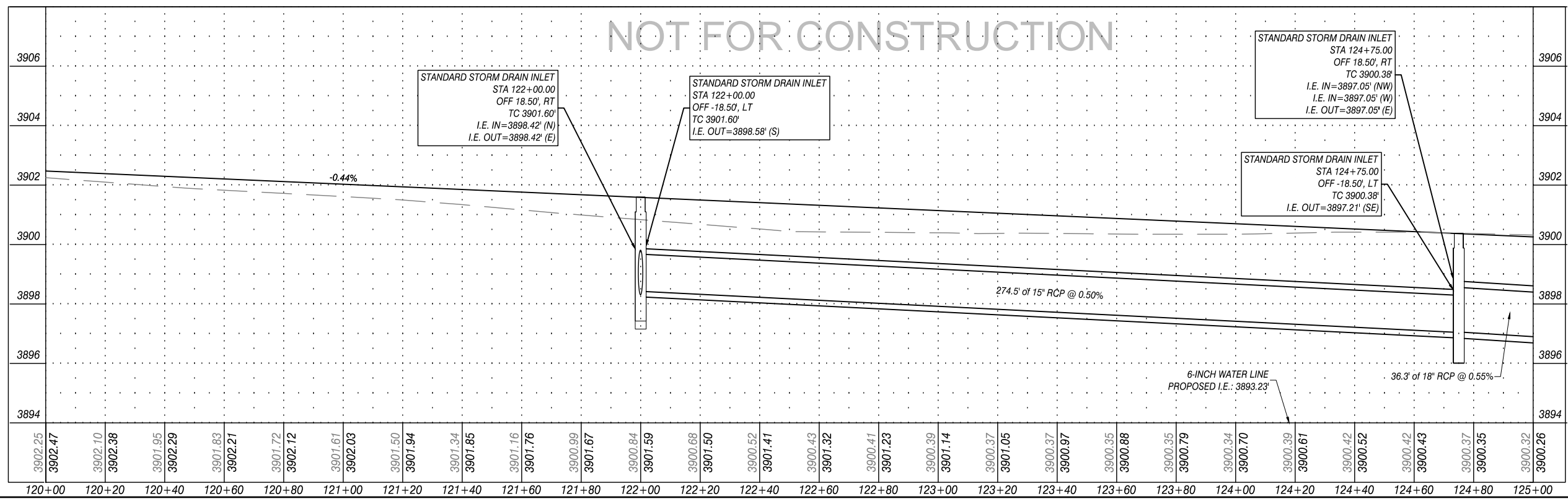
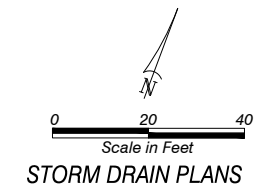
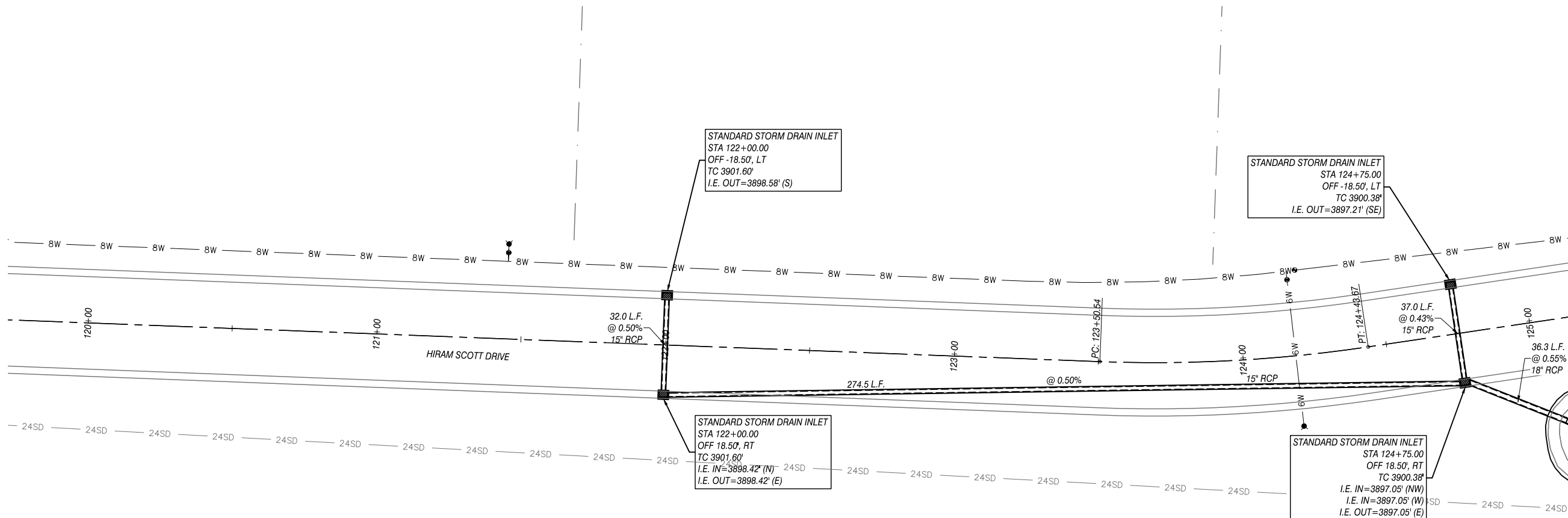
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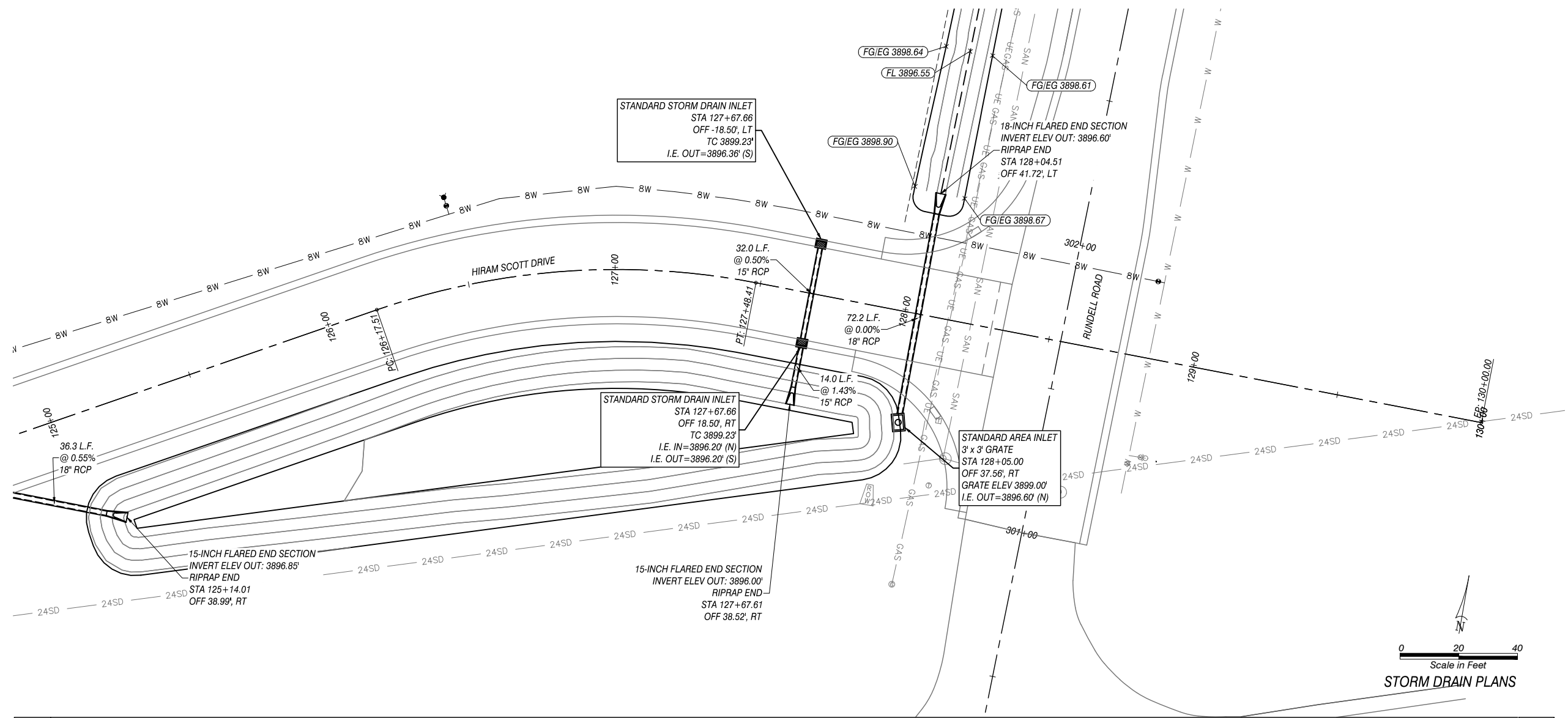
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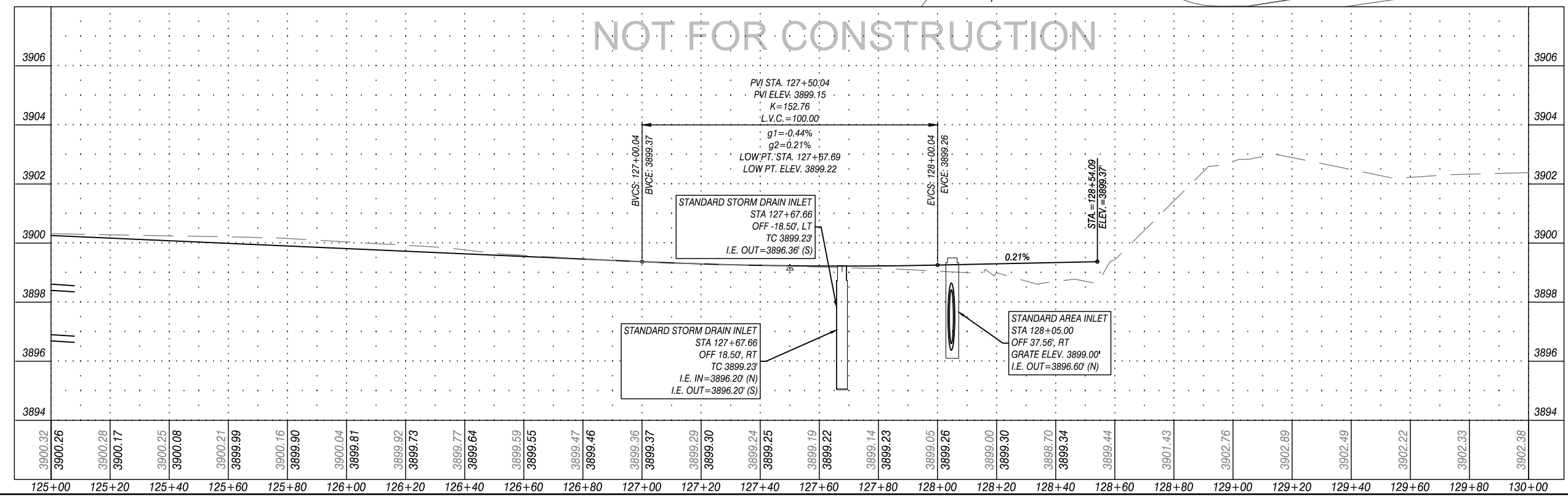
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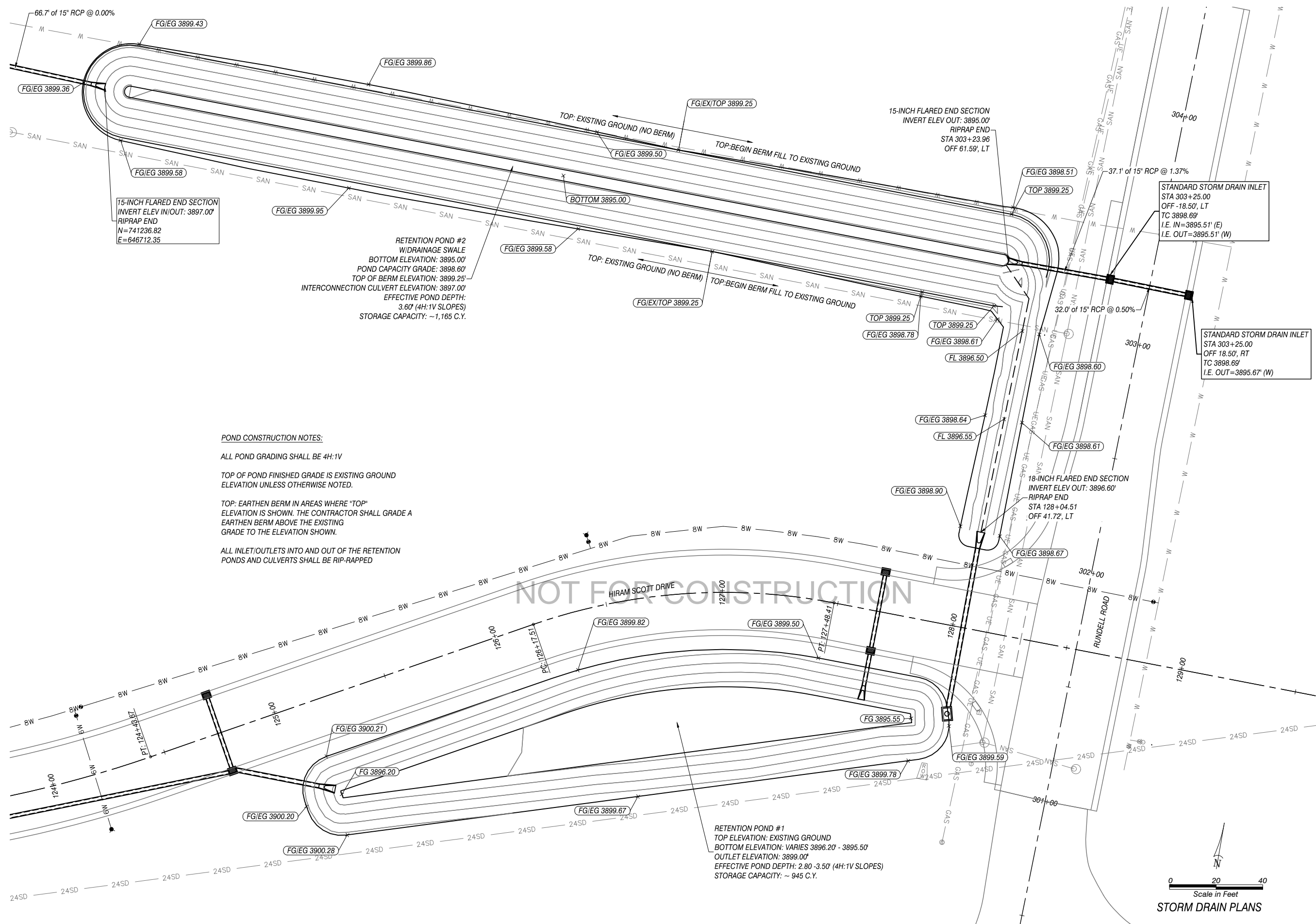


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POND CONSTRUCTION NOTES:

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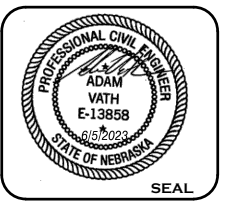
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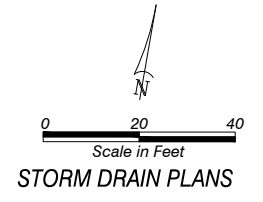
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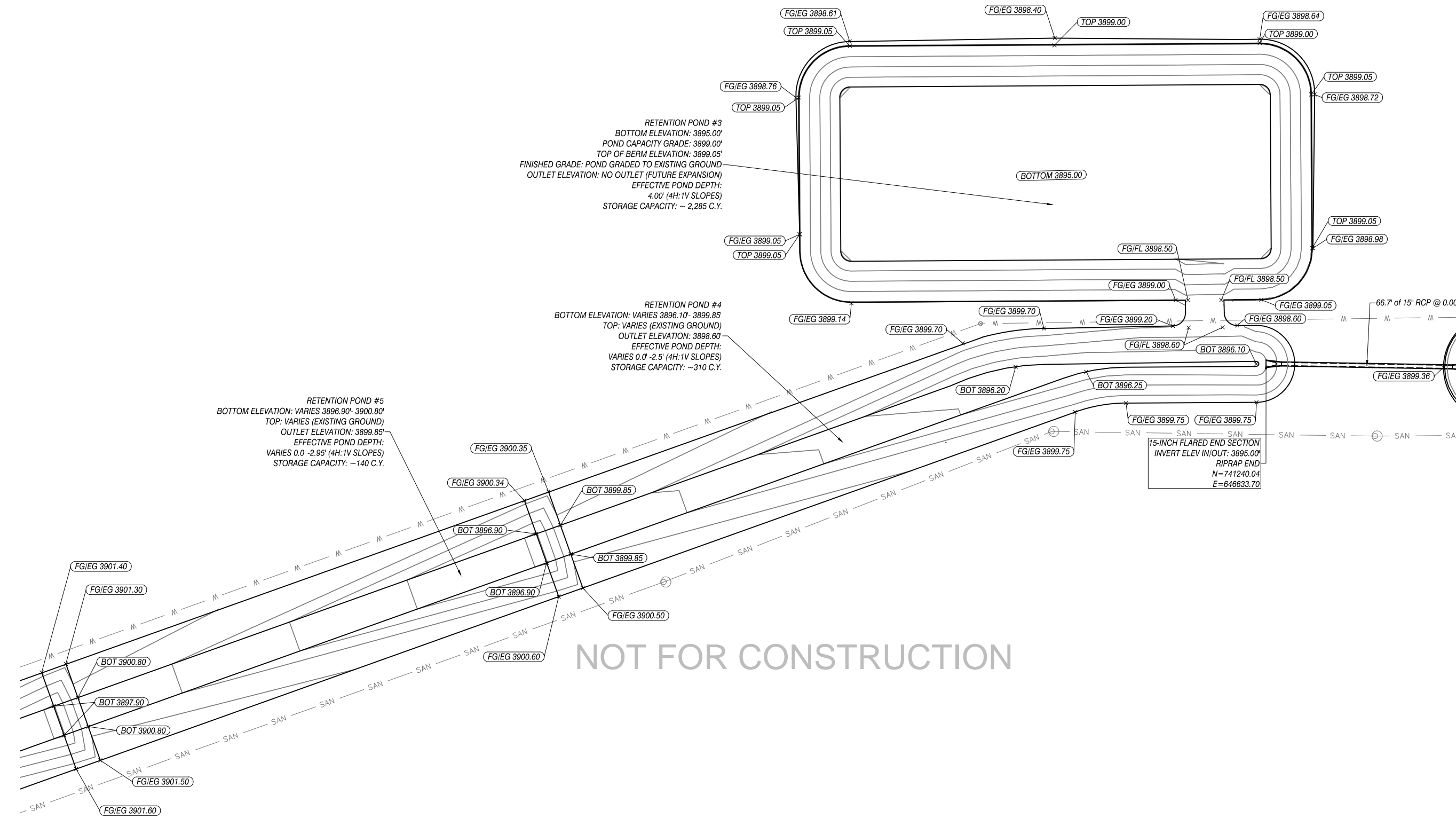
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RETENTION POND #3
 BOTTOM ELEVATION: 3895.00'
 POND CAPACITY GRADE: 3899.00'
 TOP OF BERM ELEVATION: 3899.05'
 FINISHED GRADE: POND GRADED TO EXISTING GROUND
 OUTLET ELEVATION: NO OUTLET (FUTURE EXPANSION)
 EFFECTIVE POND DEPTH:
 4.00' (4H:1V SLOPES)
 STORAGE CAPACITY: ~ 2,285 C.Y.

RETENTION POND #4
 BOTTOM ELEVATION: VARIES 3896.10'- 3899.85'
 TOP: VARIES (EXISTING GROUND)
 OUTLET ELEVATION: 3898.60'
 EFFECTIVE POND DEPTH:
 VARIES 0.0' -2.5' (4H:1V SLOPES)
 STORAGE CAPACITY: ~310 C.Y.

RETENTION POND #5
 BOTTOM ELEVATION: VARIES 3896.90'- 3900.80'
 TOP: VARIES (EXISTING GROUND)
 OUTLET ELEVATION: 3899.85'
 EFFECTIVE POND DEPTH:
 VARIES 0.0' -2.95' (4H:1V SLOPES)
 STORAGE CAPACITY: ~140 C.Y.

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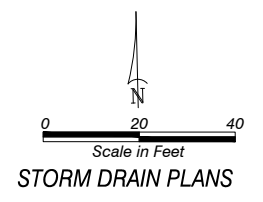
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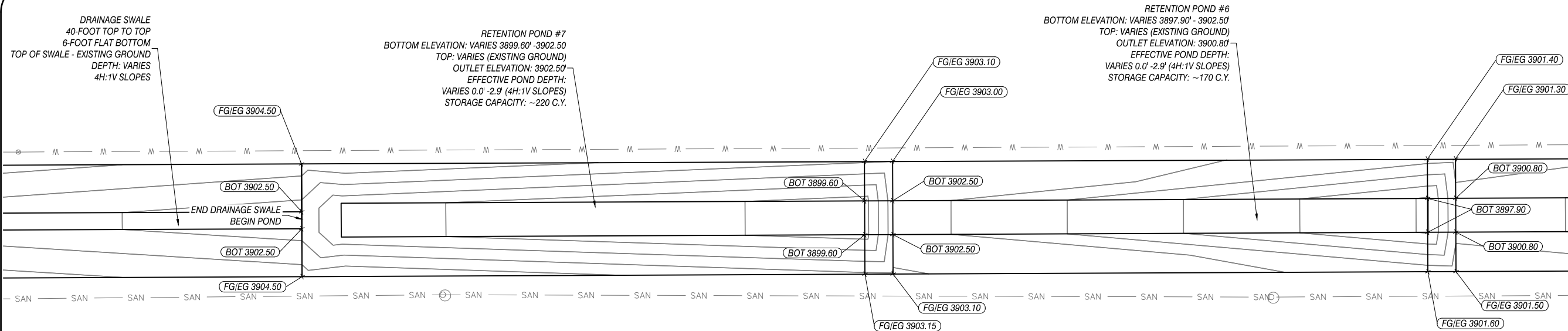
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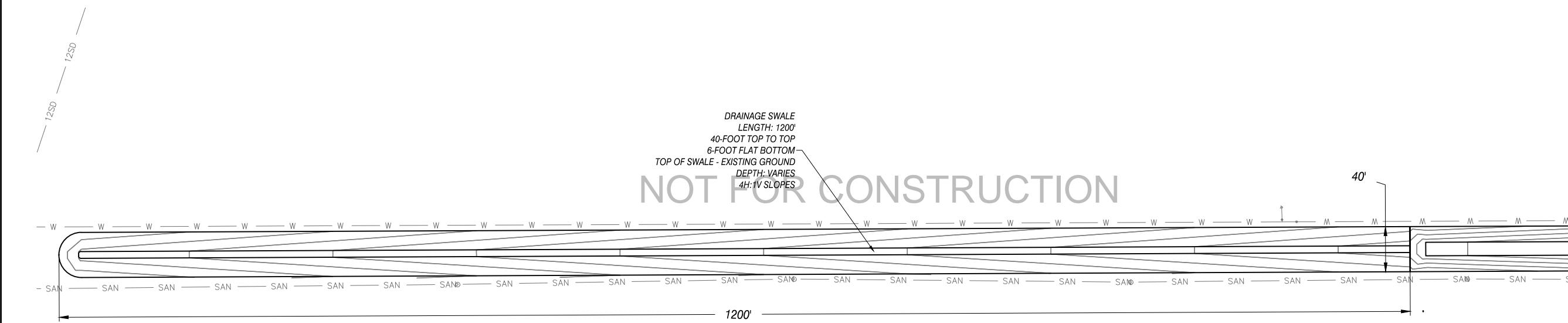
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Scale in Feet
0 20 40
STORM DRAIN PLANS



Scale in Feet
0 50 100
STORM DRAIN PLANS

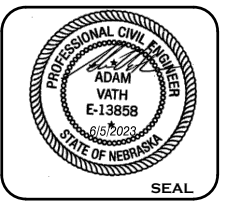
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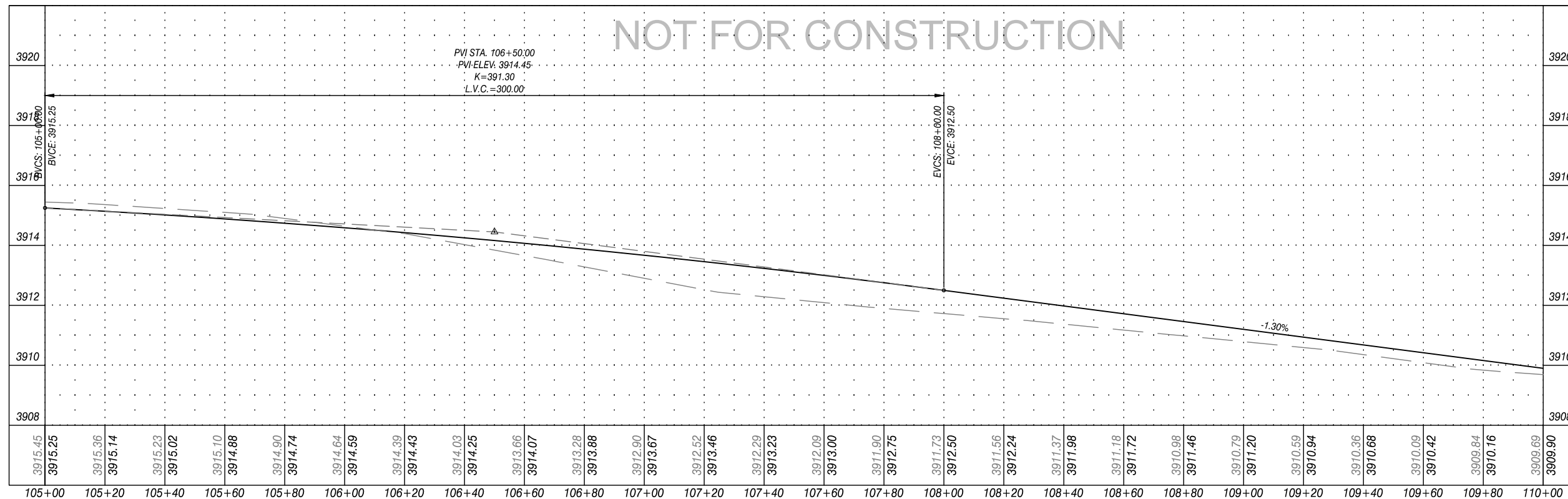
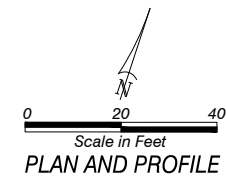
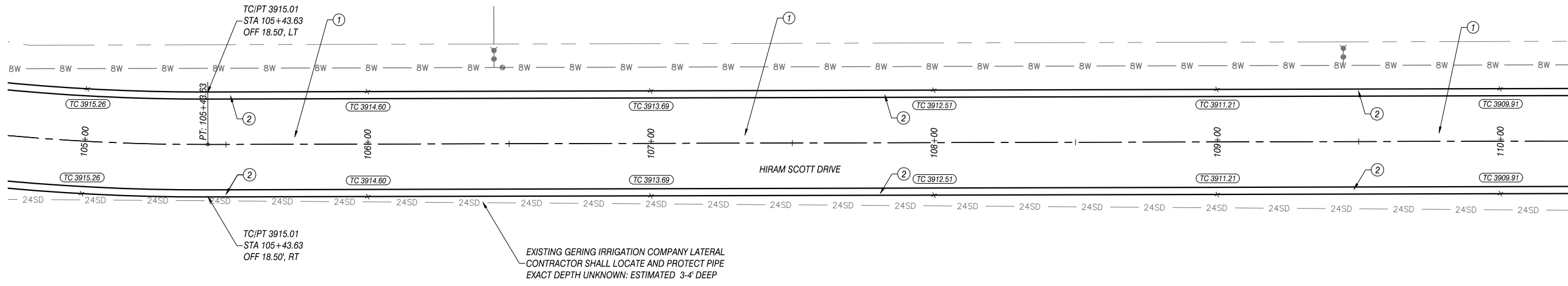
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- ① CONSTRUCT 8-INCH P.C. CONCRETE PAVEMENT
- ② CONSTRUCT 30-INCH P.C. CONCRETE CURB AND GUTTER
- ③ CONSTRUCT 45-FOOT INTERSECTION RADIUS (PAID AS 8-INCH P.C. CONCRETE PAVEMENT)
- ④ CONSTRUCT 5-INCH P.C. CONCRETE SIDEWALK
- ⑤ CONSTRUCT HANDICAP RAMP
- ⑥ ADJUST STRUCTURE TO GRADE

SEE STORM DRAIN PLANS FOR STORM DRAIN CONSTRUCTION DETAILS (SHEETS STM 1-6)
SEE WATER PLANS FOR WATER CONSTRUCTION DETAILS (SHEETS W 1-6)

CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES
PRIOR TO CONSTRUCTION.

ELEVATIONS OF ALL EXISTING UTILITIES ARE CALCULATED BY THE NEAREST
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OR PRECASTING STRUCTURES TO AVOID CONFLICTS.



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 PLAN AND PROFILE

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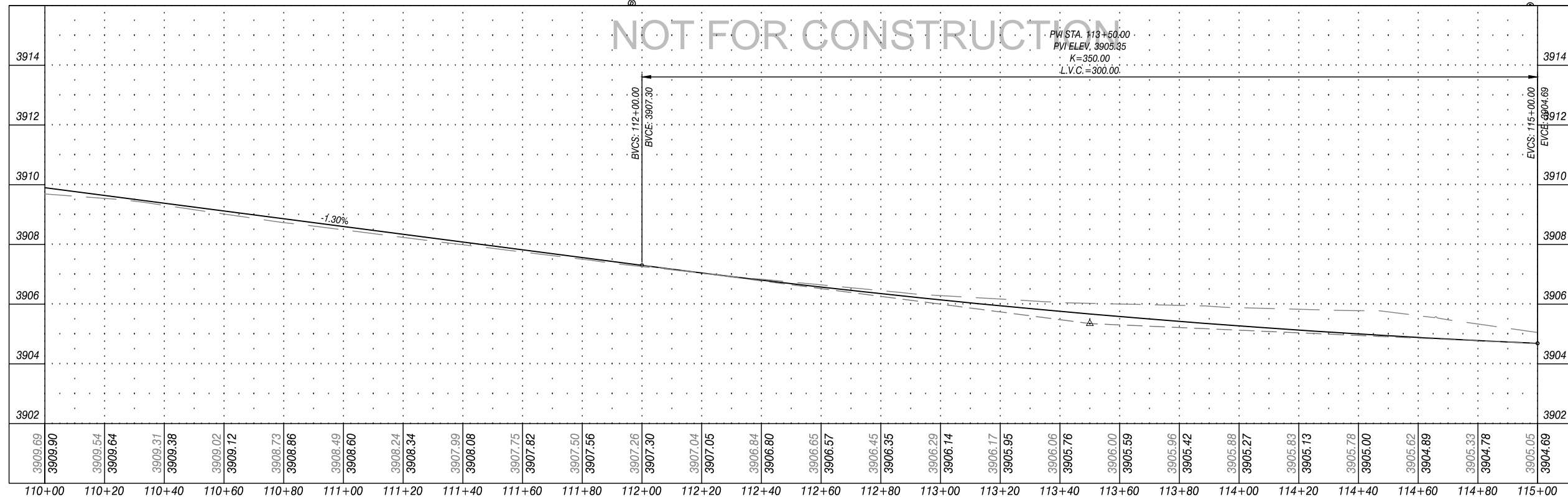
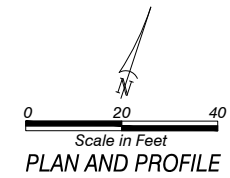
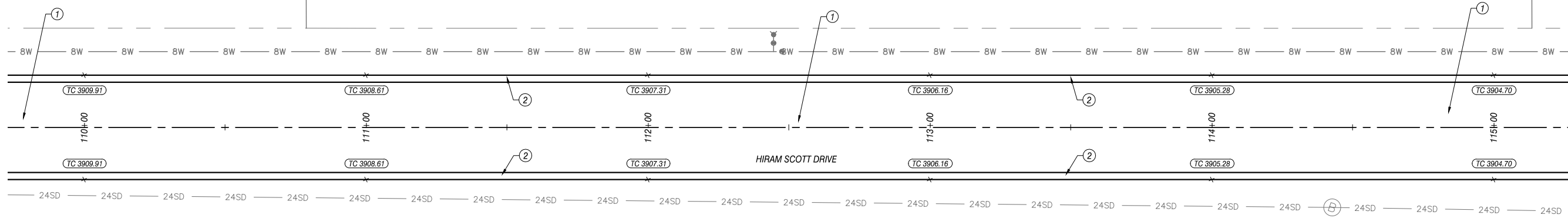
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SEE STORM DRAIN PLANS FOR STORM DRAIN CONSTRUCTION DETAILS (SHEETS STM 1-6)
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ENGINEERS ♦ PLANNERS ♦ DESIGNERS ♦ LAND SURVEYORS
 PH: 308-635-1926 FAX: 308-635-7807 INTERNET: WWW.MCSCHAFF.COM

PROJECT: MONUMENTAUL ESTATES
DEVELOPMENT
PHASE I - COMMERCIAL LOTS
GERING, NE
PLAN AND PROFILE

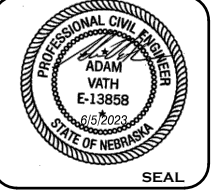
CLIENT: AULICK INDUSTRIES

PROJECT NUMBER:
RM220313-00

PROJECT DATE:
4/28/2023

PROJECT MGR:
A.M.V.

PROJECT TEAM:
D.S./D.D./G.S.



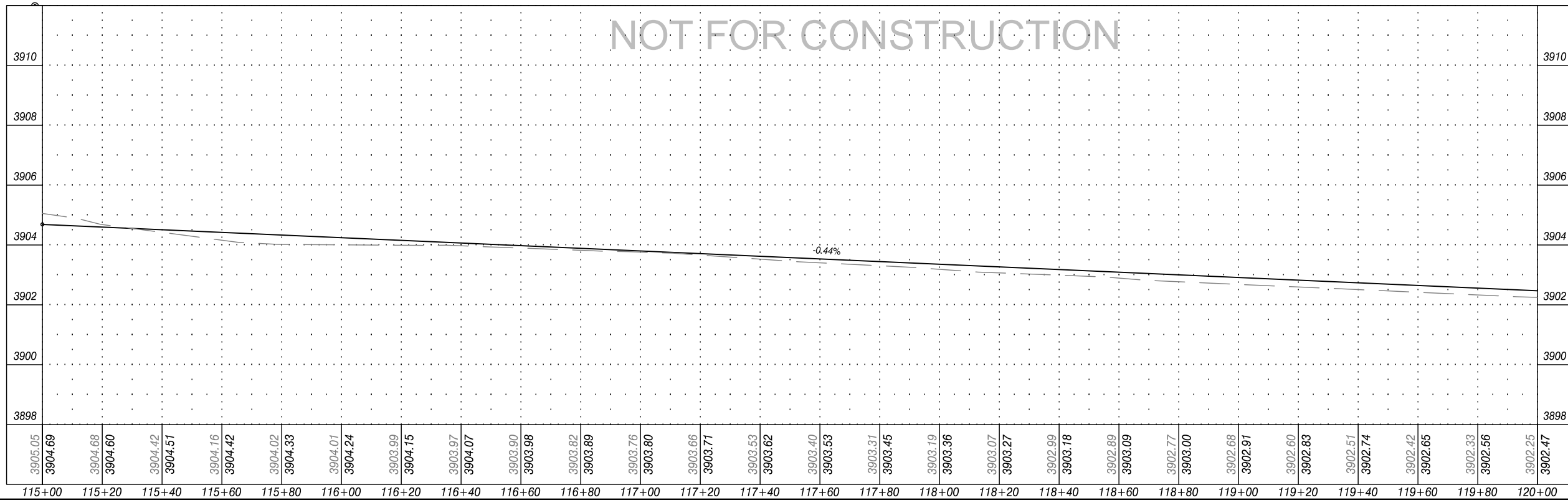
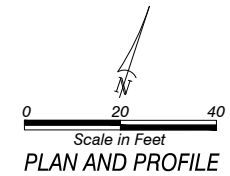
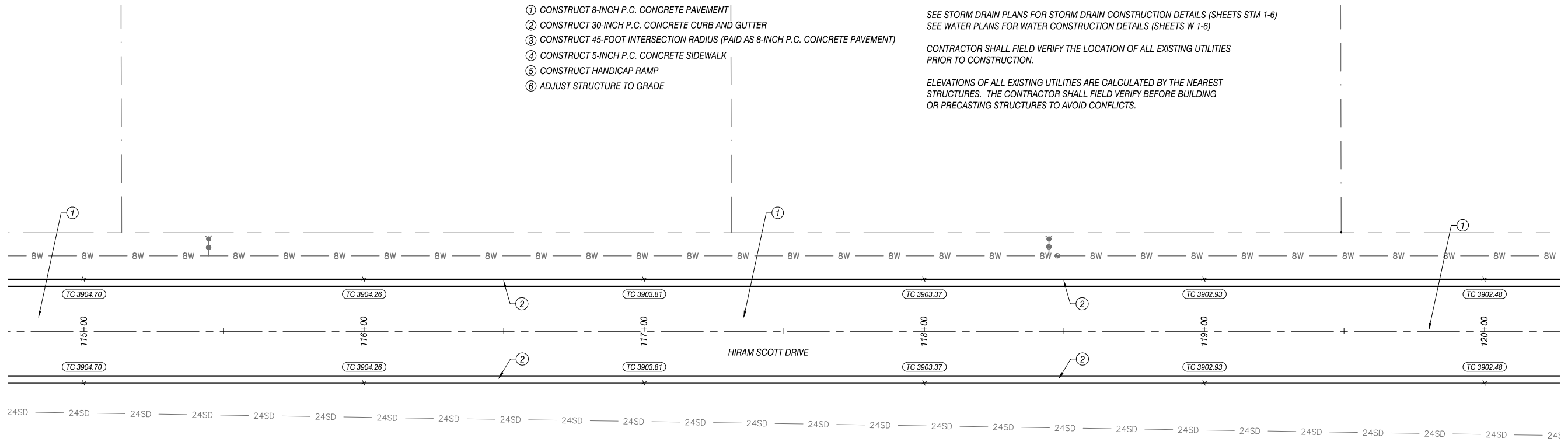
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PROFESSIONAL CIVIL ENGINEER
ADAM VATH
E-13858
6/5/2023
STATE OF NEBRASKA
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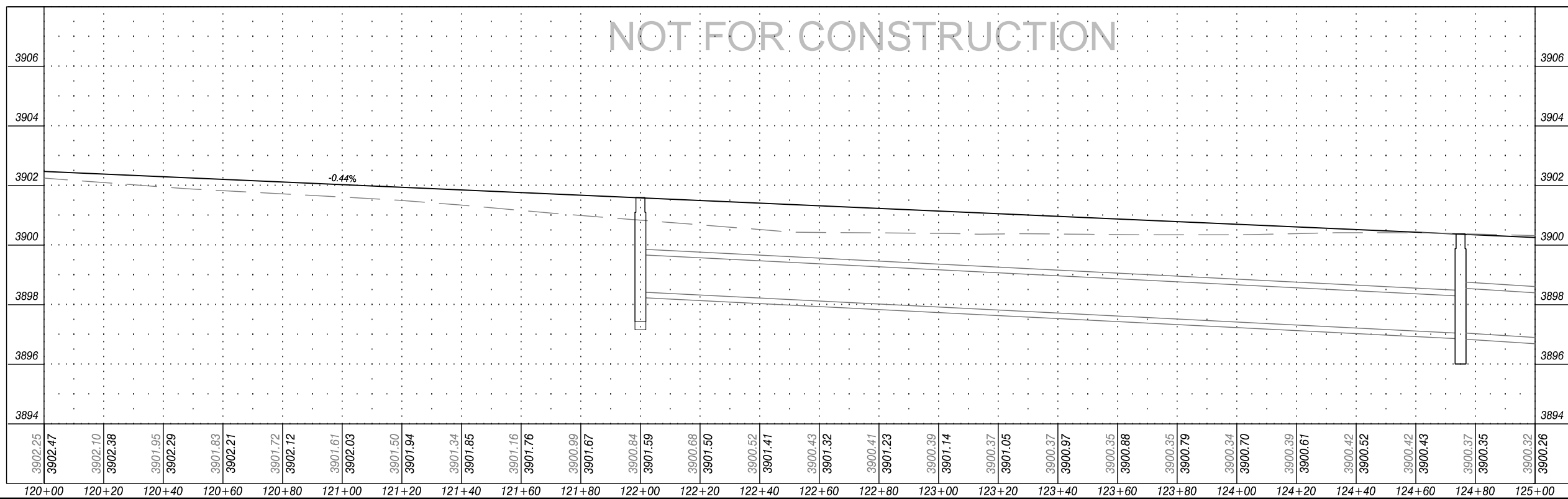
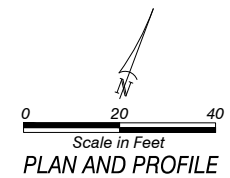
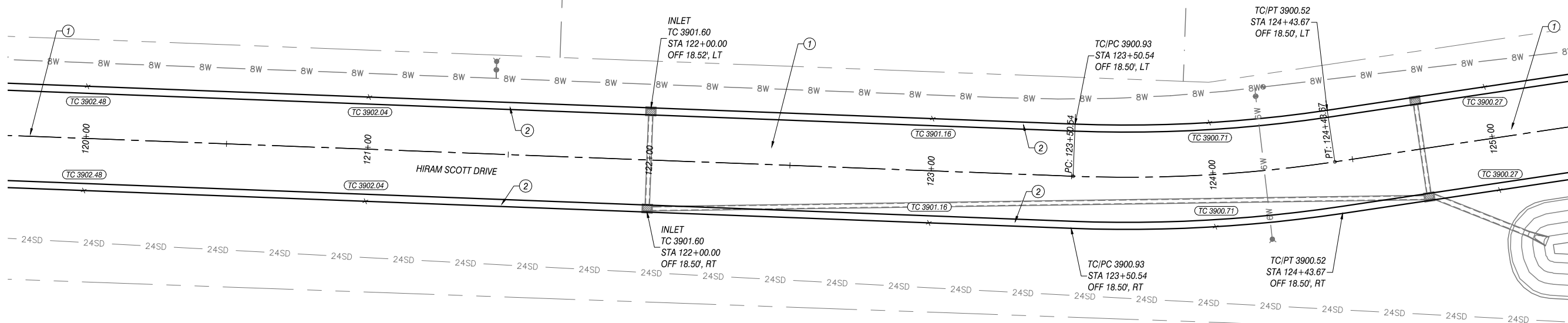
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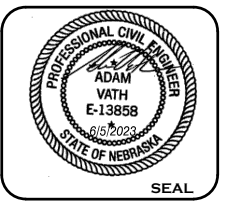
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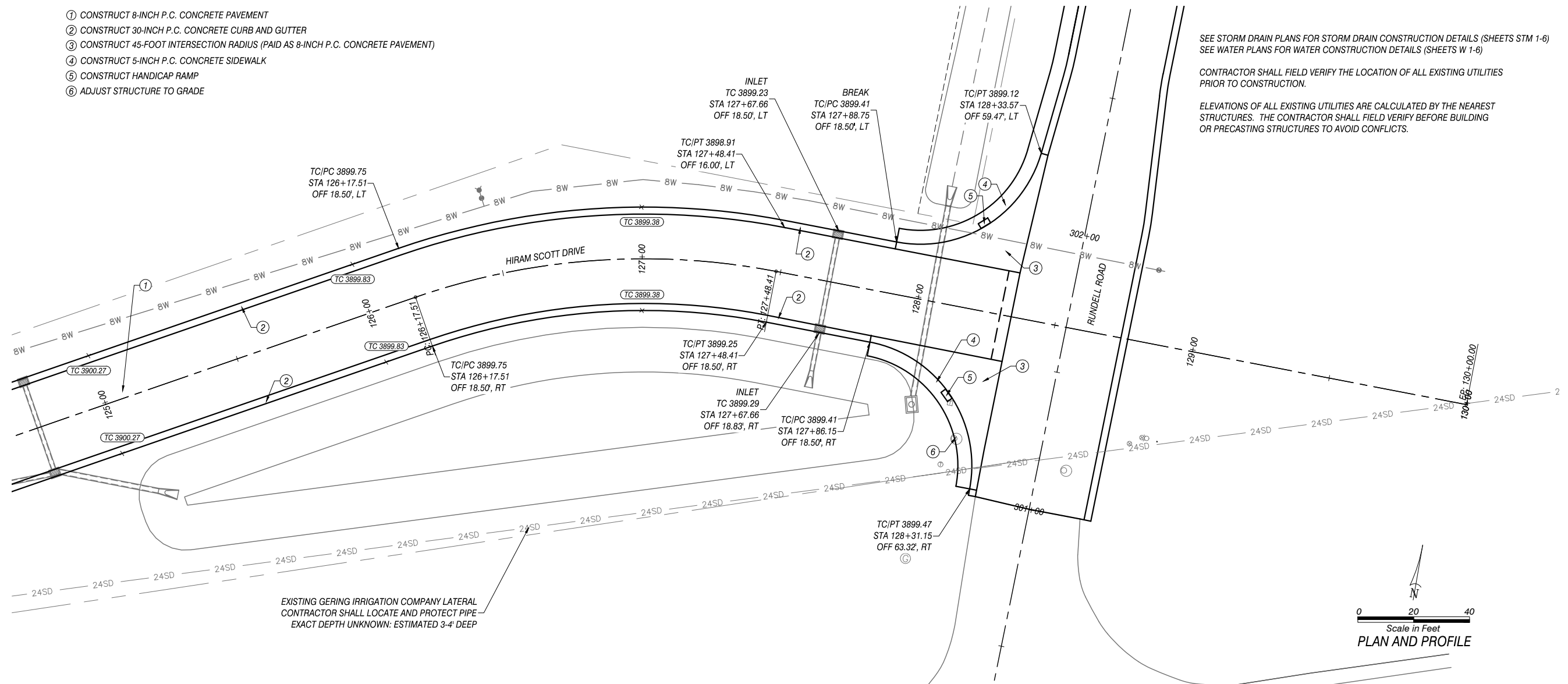
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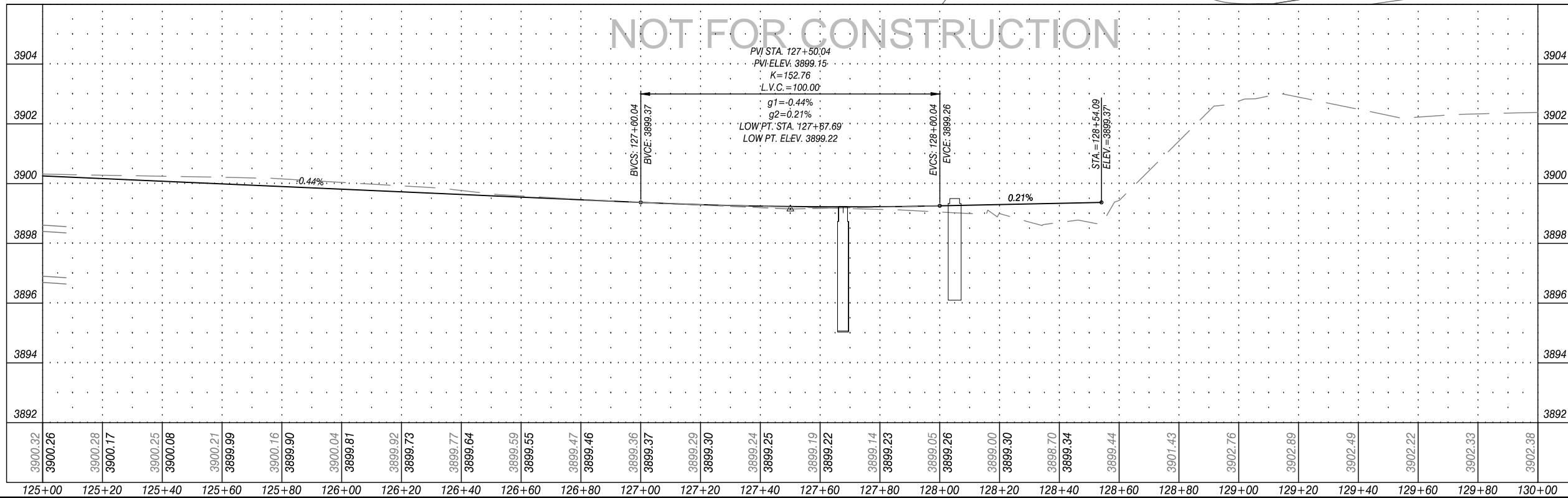


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EXISTING GERING IRRIGATION COMPANY LATERAL
 CONTRACTOR SHALL LOCATE AND PROTECT PIPE
 EXACT DEPTH UNKNOWN: ESTIMATED 3'-4" DEEP



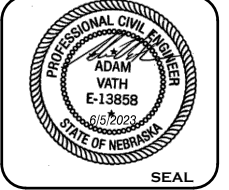
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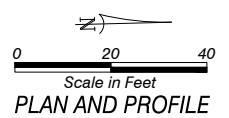
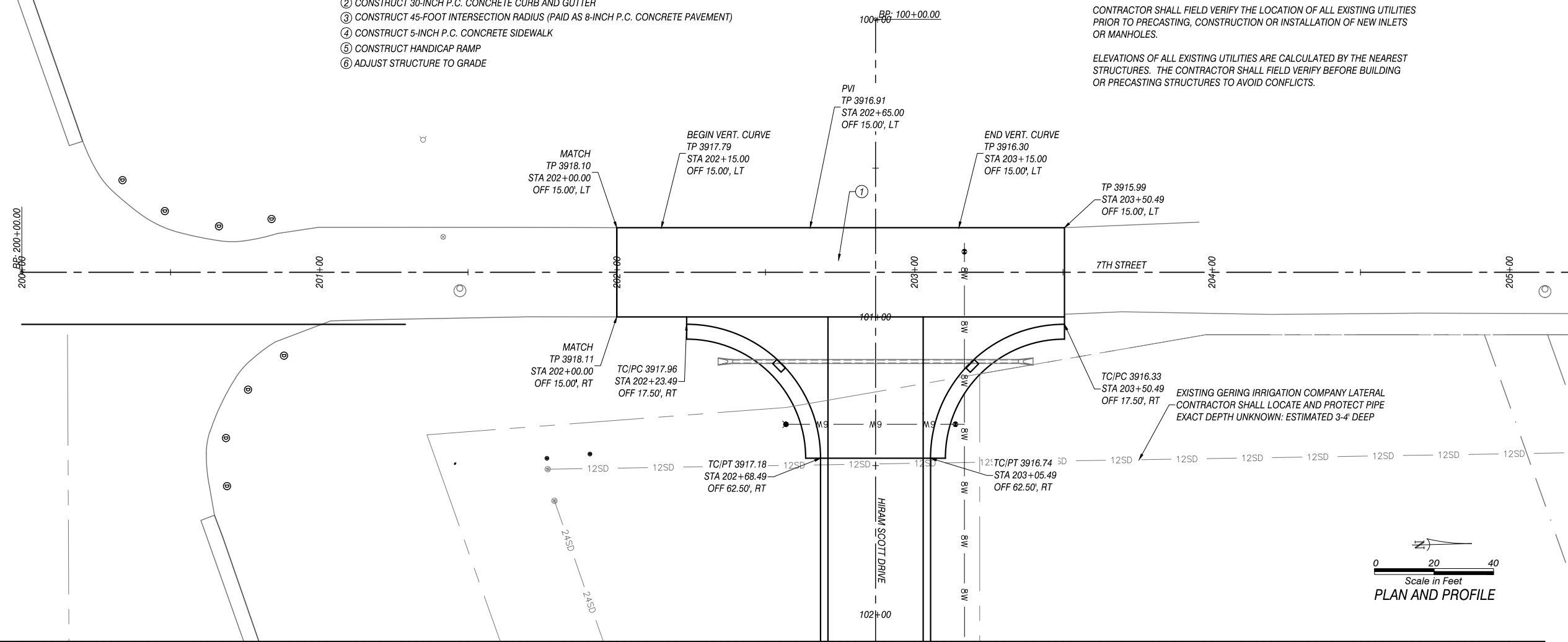
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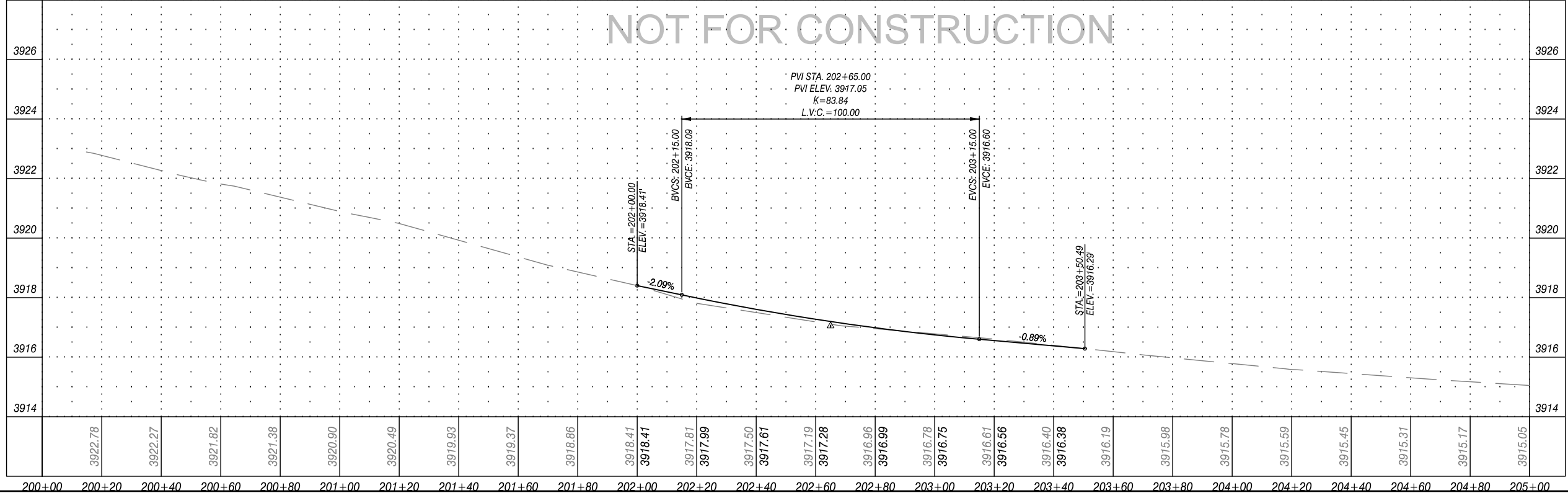
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NOT FOR CONSTRUCTION



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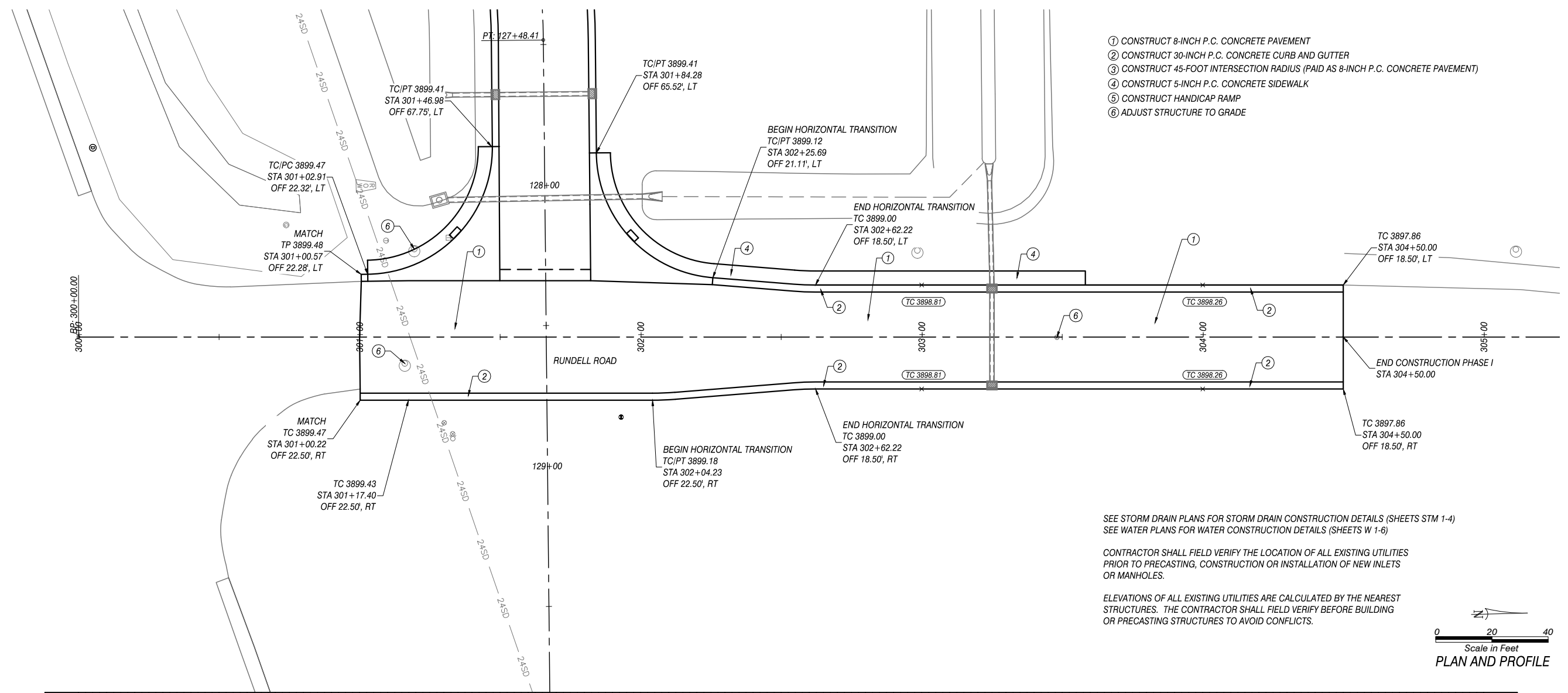
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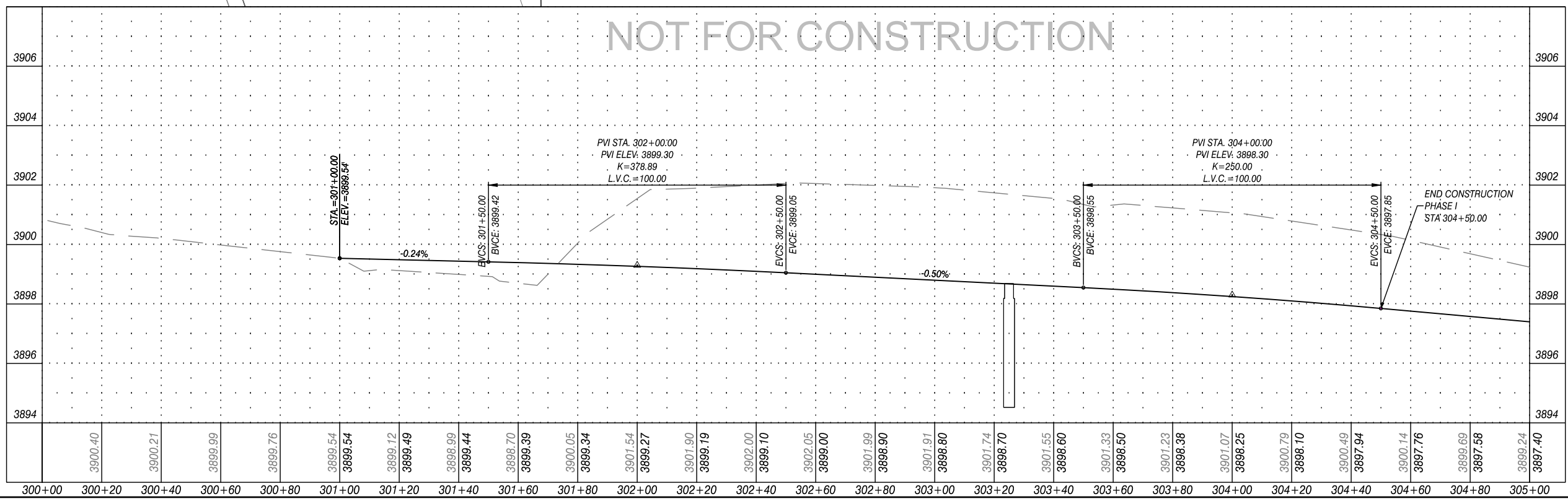
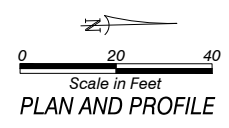


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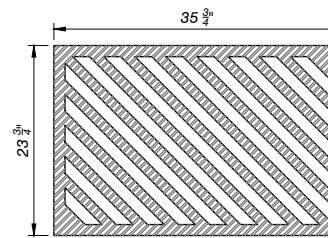
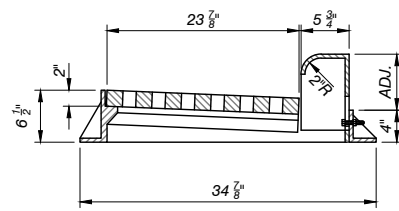
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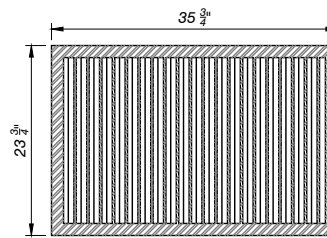
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PROFESSIONAL CIVIL ENGINEER
 ADAM VATH
 E-13858
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 STATE OF NEBRASKA
 SEAL

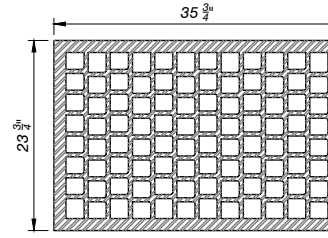
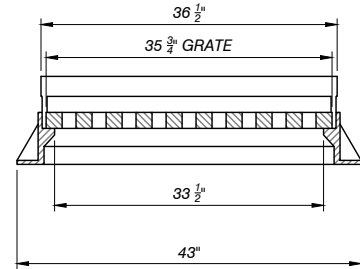
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STANDARD GRATE



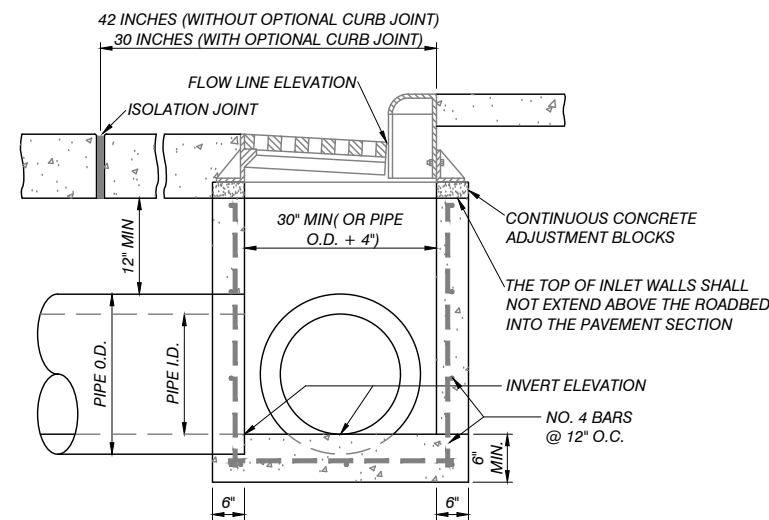
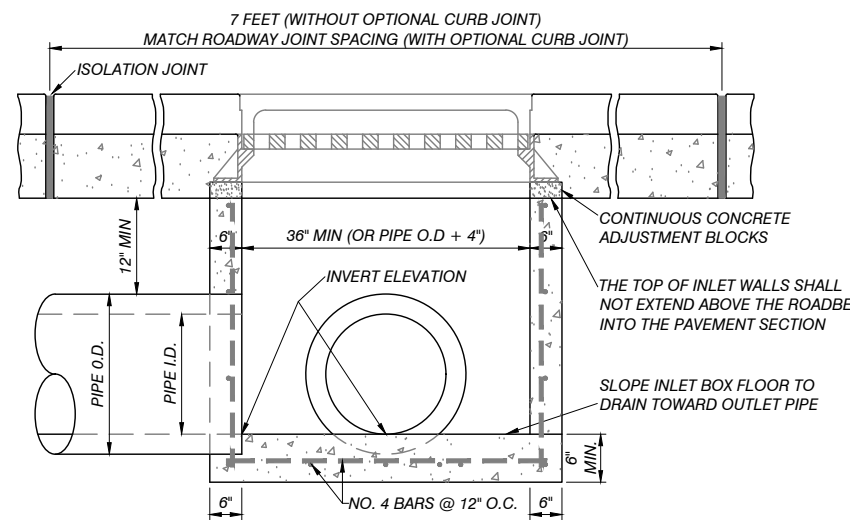
VANE GRATE (TYPE 'V')



VANE GRATE (TYPE 'L')

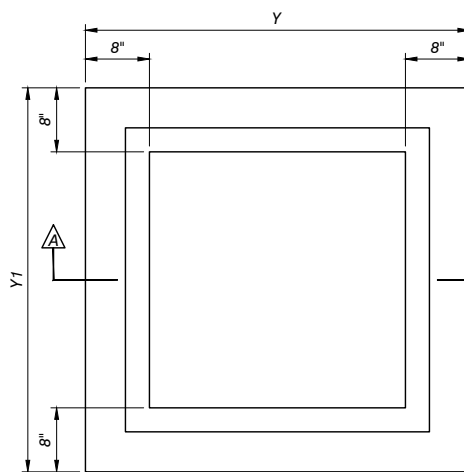
UNLESS SPECIFIED, THE STANDARD GRATE DESIGN SHALL BE SUPPLIED. THE CURB FACE SHALL BE A SEMI-ROLL WITH A 2 INCH RADIUS UNLESS OTHERWISE SPECIFIED. THE FRAME CURB BOX AND STANDARD GRATE SHALL BE NEENAH MODEL R-3246-A OR AN APPROVED EQUAL. IF THE STANDARD GRATE IS NOT TO BE USED THE PLANS SHALL SPECIFY WHICH GRATE SHALL BE USED.

TYPICAL CURB INLET, FRAME, GRATE AND CURB BOX

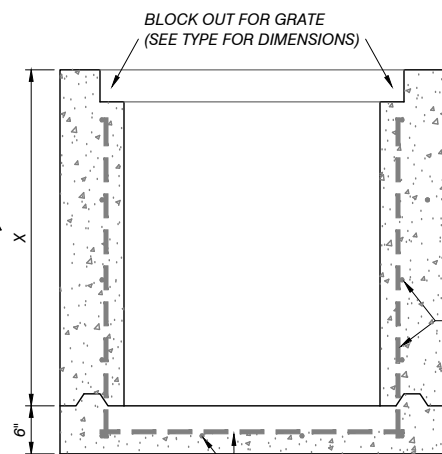


STANDARD CONCRETE CURB INLET BOX

NOT FOR CONSTRUCTION



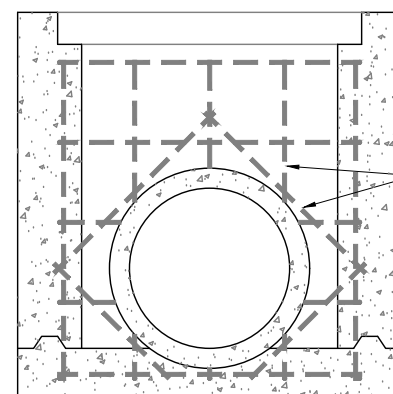
PLAN



SECTION A-A

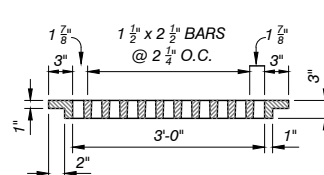
NO. 4 BARS @ 12" O.C.

NOTES
 GRATE SHALL BE D&L I-9166 OR APPROVED EQUAL.
 THE MINIMUM COVER MEASURED FROM THE FACE OF CONCRETE TO THE SURFACE OF ANY REINFORCING BAR SHALL BE 2 INCHES (EXCEPT AS SHOWN).
 GRATE INLETS SHALL BE PAID FOR AT THE UNIT PRICE PER EACH FOR THE ITEM "AREA INLET". THIS PRICE SHALL INCLUDE THE GRATE, THE FRAME IF REQUIRED, ALL NECESSARY EXCAVATION, CONCRETE, REINFORCING STEEL, MISCELLANEOUS MATERIALS AND LABOR.
 DIMENSION "X" MAY BE INCREASED OR DECREASED FROM THAT SHOWN ON THE PLANS BY NOT MORE THAN SIX INCHES WITHOUT ANY ADJUSTMENT IN COMPENSATION. CHANGES IN EXCESS OF SIX INCHES SHALL BE PAID FOR ON AN EXTRA WORK BASIS.

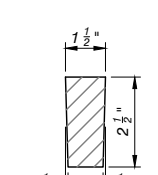


DETAIL OF PIPE OPENING

CLIP OR FIELD BEND BARS AS REQUIRED TO CLEAR PIPE

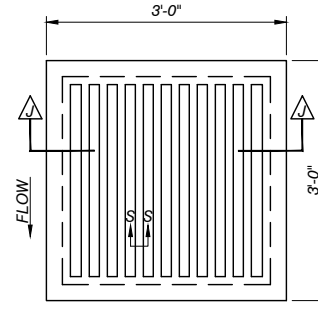


SECTION J-J



SECTION S-S

GRATE TYPE
 D & L I-9166
 CLEAR OPENING 3.21 SQ. FT.



PLAN

AREA INLET

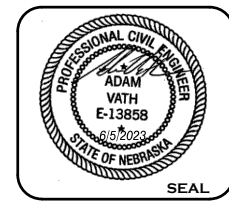
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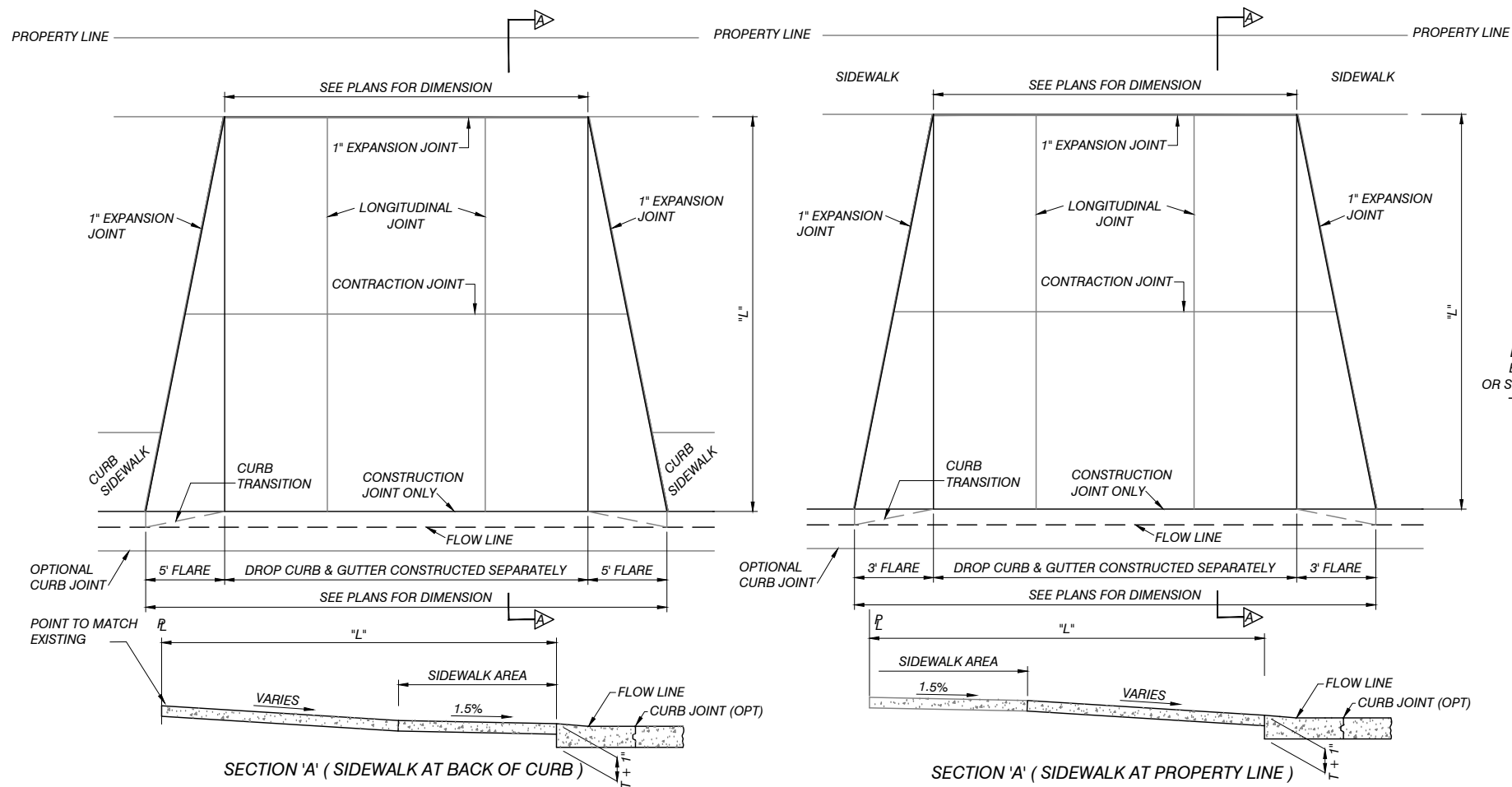
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SEE PAVING PLAN FOR DRIVEWAY WIDTH AND DEPTH DIMENSIONS.

DROP CURB AND GUTTER SHALL BE INSTALLED SEPERATELY AND ARE NOT A PART OF THIS BID ITEM

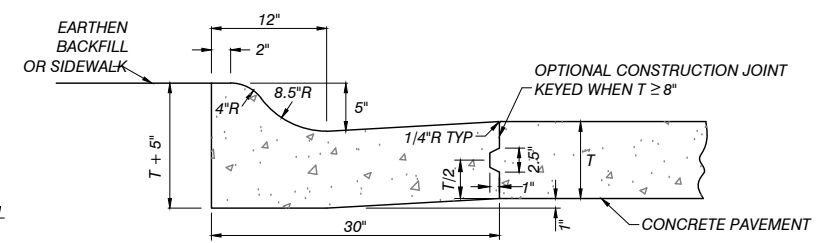
TYPICAL DRIVEWAY/ALLEY RETURN

SEE PAVING PLAN FOR DRIVEWAY WIDTH AND DEPTH DIMENSIONS.

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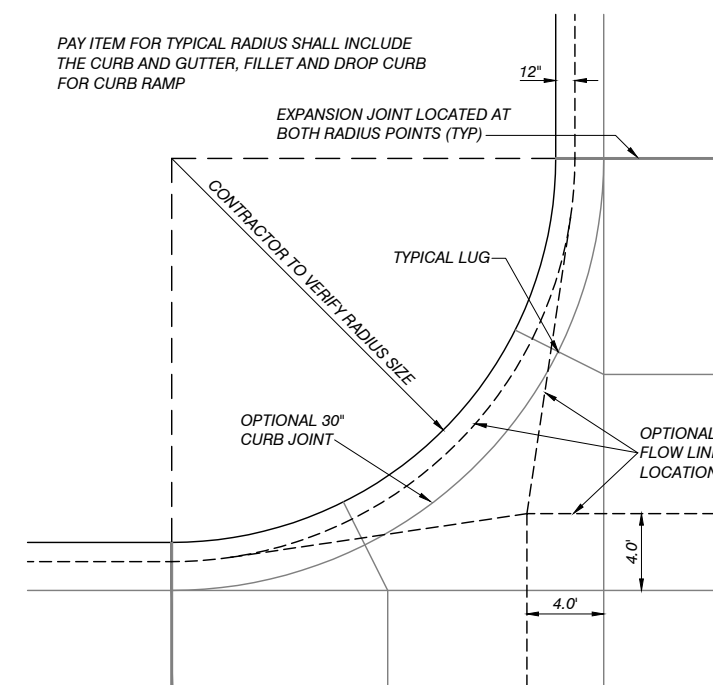
TYPICAL DRIVEWAY/ALLEY RETURN

NOT FOR CONSTRUCTION

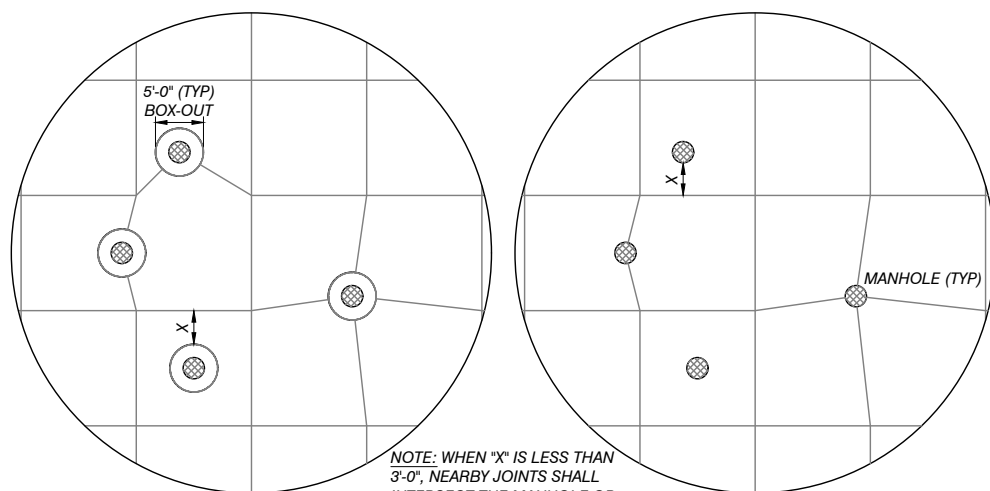


CONCRETE CURB IN PUBLIC RIGHT OF WAY

PAY ITEM FOR TYPICAL RADIUS SHALL INCLUDE THE CURB AND GUTTER, FILLET AND DROP CURB FOR CURB RAMP



TYPICAL CONCRETE INTERSECTION RADIUS



JOINTING PLAN WITH
OPTIONAL MANHOLE BOX OUT

JOINTING PLAN WITHOUT
OPTIONAL MANHOLE BOX OUT

TYPICAL MANHOLE BOX OUT

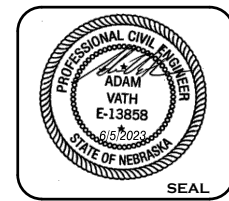
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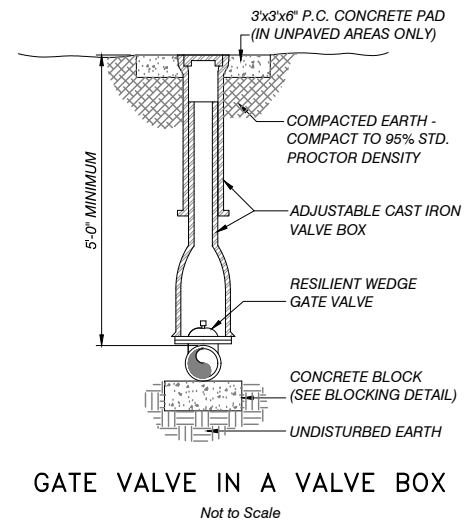
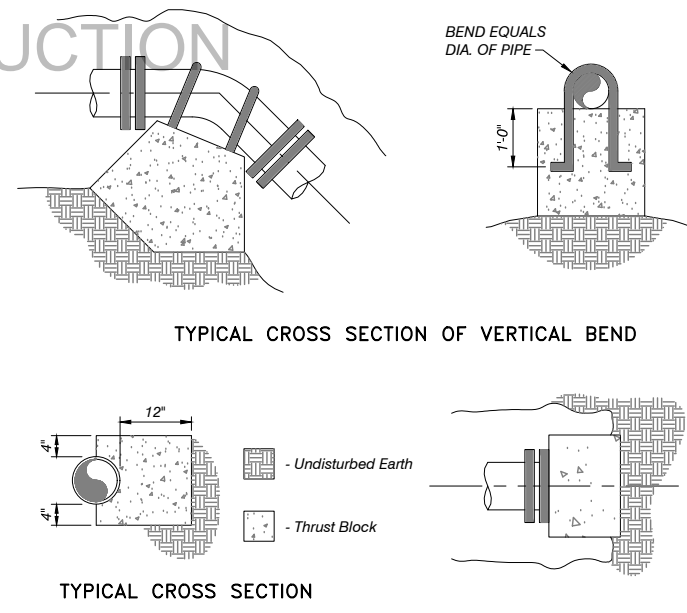
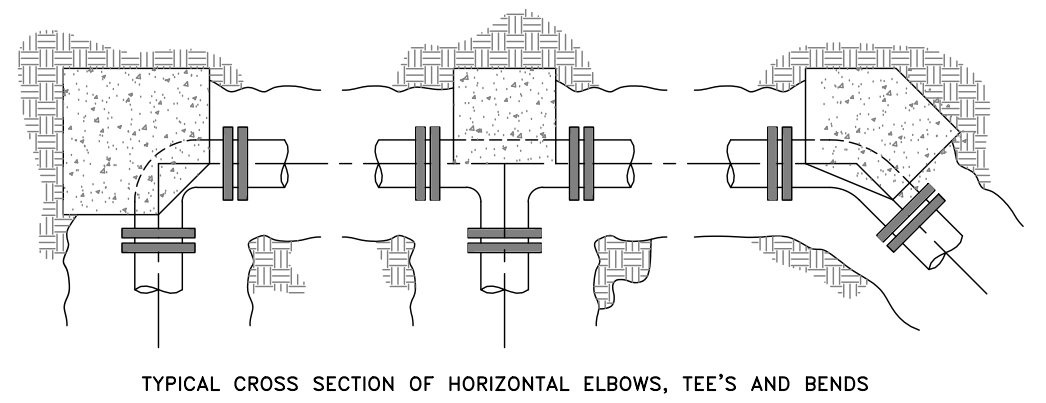
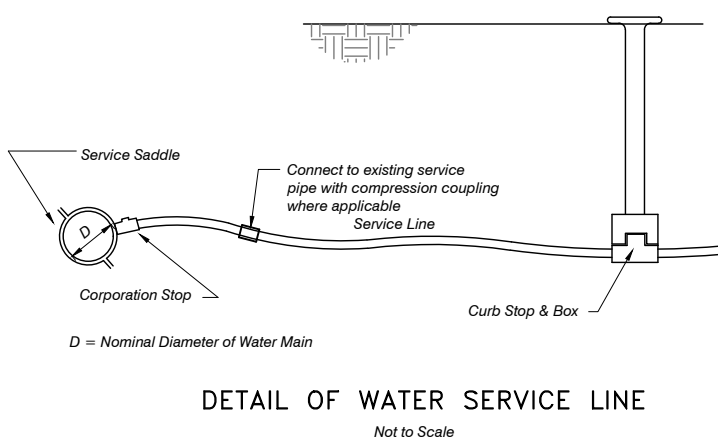
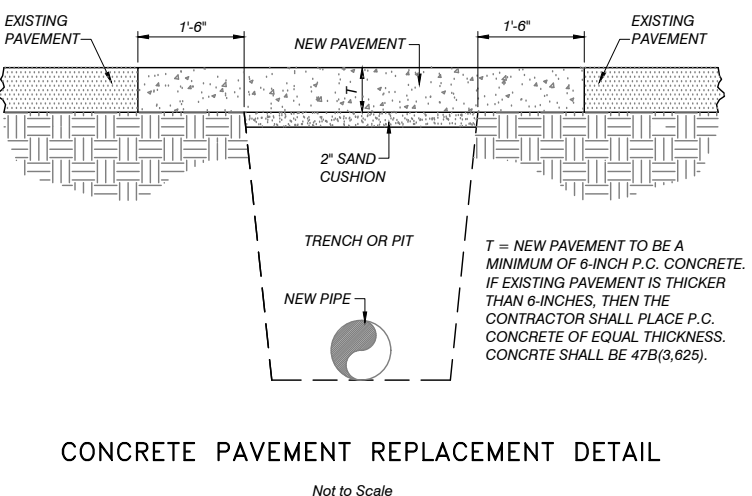
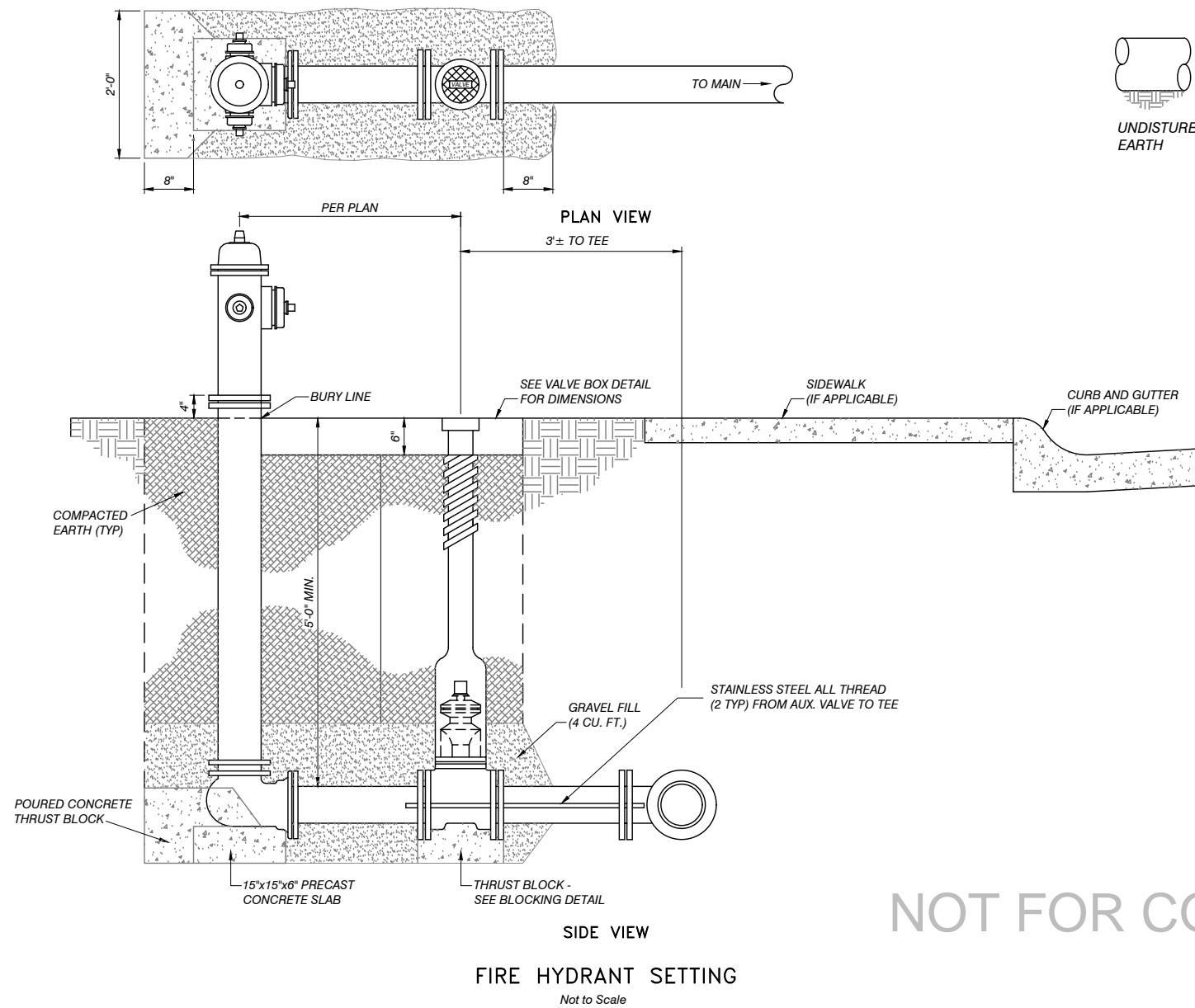
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NOTES:

PLACE DOUBLE LAYER OF TAR PAPER BETWEEN CONCRETE BLOCK AND THE PLUG OR CAP.

ALL JOINTS, BOLTS, ETC. SHALL REMAIN FREE FROM CONCRETE AND SHALL BE OTHERWISE ACCESSIBLE.

ALL BLOCKS SHALL BE PLACED AGAINST UNDISTURBED EARTH.

BLOCKS SHALL BE CAST IN PLACE CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,000 PSI AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.

MINIMUM AREA IN SQUARE FEET OF THRUST BLOCK ON UNDISTURBED TRENCH BANK

PIPE SIZE (INCHES)	90° BEND	45° BEND	DEAD END
4	2	2	2
6	3	3	3
8	5	5	5
10	8	8	8
12	12	12	12
14	16	16	16
16	20	20	20

MINIMUM THICKNESS OF THRUST BLOCK: 18"



M. C. SCHAFF & ASSOCIATES, INC.
818 SOUTH BELTLINE HIGHWAY EAST
SCOTTSDRUFF, NEBRASKA 69361

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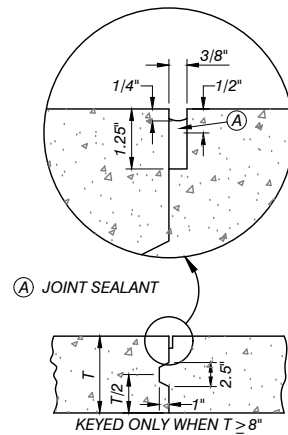
PROJECT: MONUMENTAUL ESTATES DEVELOPMENT PHASE I - COMMERCIAL LOTS GERING, NE STANDARD DETAILS

CLIENT: AULICK INDUSTRIES

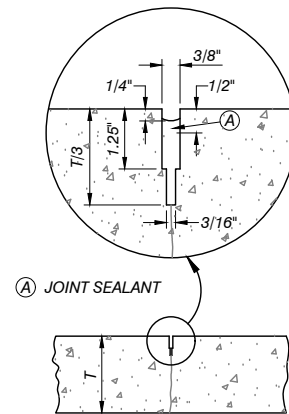
PROJECT NUMBER: RM220313-00
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PROJECT MGR: A.M.V.
PROJECT TEAM: D.S./D.D./G.S.



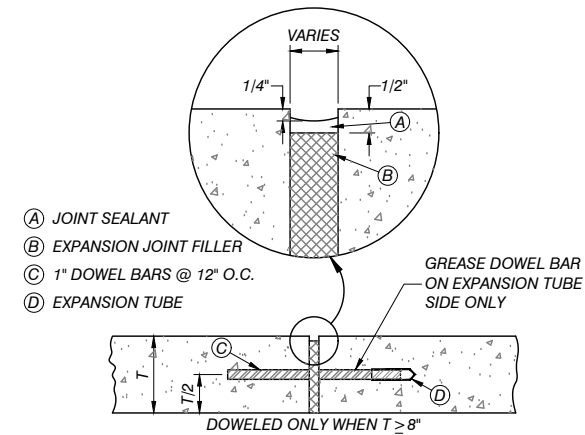
DATE	REVISION



TYPICAL TRANSVERSE ROADWAY CONSTRUCTION JOINT



TYPICAL SAWN TRANSVERSE ROADWAY CONTRACTION JOINT



TYPICAL EXPANSION JOINT

CONCRETE JOINTING NOTES

CONCRETE PAVEMENT JOINTS SHALL NOT BE PAID FOR DIRECTLY BUT SHALL BE SUBSIDIARY TO THE PAVEMENT.

TRANSVERSE ROADWAY JOINTS SHALL BE SPACED AT 12 FEET EXCEPT AT LOCATIONS SUCH AS UTILITY FIXTURES AND INTERSECTION RADII WHERE TRANSVERSE JOINT SPACING MAY VARY FROM 9.5 TO 14.5 FEET.

TRANSVERSE CURB AND GUTTER JOINTS SHALL MATCH THE TRANSVERSE ROADWAY JOINTS.

LONGITUDINAL ROADWAY JOINTS SHALL EVENLY DIVIDE THE WIDTH OF THE ROADWAY, WITH A SPACING OF BETWEEN 9.5 AND 14.5 FEET. AS AN OPTION, A LONGITUDINAL CONSTRUCTION JOINT MAY BE PLACED 30 INCHES FROM THE BACK OF CURB. WHERE APPLICABLE, LONGITUDINAL JOINTS SHALL NOT BE PLACED WHERE THEY WILL DIRECTLY COINCIDE WITH ANY LONGITUDINAL PAVEMENT MARKINGS. INSTEAD, LONGITUDINAL JOINTS SHALL BE PLACED SUCH THAT THERE IS A 1 TO 2 INCH GAP BETWEEN THE JOINT AND THE EDGE OF THE PAVEMENT MARKING.

DRIVEWAY, SIDEWALK AND MEDIAN JOINTS SHALL RESULT IN RECTANGULAR PANELS WITH EACH EDGE MEASURING BETWEEN 12 AND 24 TIMES THE SLAB THICKNESS. ADDITIONALLY, THE LENGTH ANY PANEL SHALL NOT EXCEED 1.5 TIMES THE WIDTH.

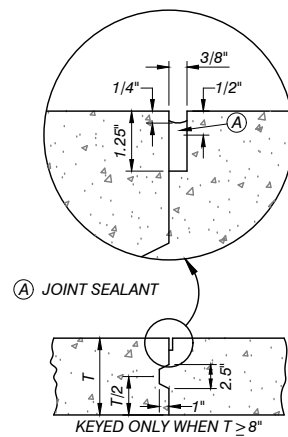
TRANSVERSE ROADWAY, DRIVEWAY, SIDEWALK AND MEDIAN JOINTS SHALL BE PERPENDICULAR TO BOTH THE SURFACE OF THE SUBGRADE AND THE DIRECTION OF TRAVEL.

IN GENERAL, ALL JOINTS SHALL INTERSECT AT 90° ANGLES, EXCEPT AT LOCATIONS SUCH AS UTILITY FIXTURES AND INTERSECTION RADII. WHEREVER JOINTS (IF EXTENDED) WOULD INTERSECT AT AN ANGLE OF LESS THAN 60°, A DOG LEG OF LUG SHALL BE CONSTRUCTED AS SHOWN IN THE DETAIL.

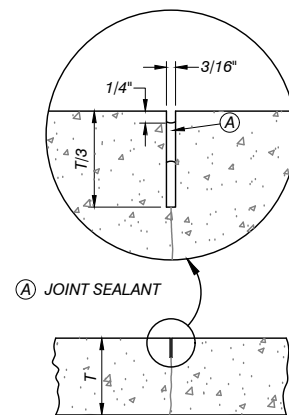
ROADWAY EXPANSION JOINTS SHALL BE CONTINUOUS FROM BACK OF CURB TO BACK OF CURB, AND CONTINUOUS THROUGH MEDIANS. ROADWAY EXPANSION JOINTS SHALL BE SPACED AT INTERVALS NOT TO EXCEED 300 FEET, AND JUST PRIOR TO ALL ROADWAY INTERSECTIONS, OR AS SHOWN ON THE PAVING PLANS. EXPANSION JOINTS OUTSIDE THE ROADWAY (INCLUDING MEDIANS) SHALL BE PLACED AT INTERVALS NOT TO EXCEED 100 FEET, OR AS SHOWN IN THE DETAILS OR ON THE PAVING PLANS. EXPANSION JOINTS WITHIN THE ROADWAY SHALL HAVE DOWEL BARS AS SHOWN IN THE DETAILS. DOWEL BARS SHALL BE SUPPORTED AT MID-DEPTH OF THE SLAB AT ALL EXPANSION JOINTS BY THE USE OF CHAIRS AND SPACER BARS. CHAIRS SHALL BE PLACED NO FURTHER THAN 30 INCHES ON CENTER WITH THREE NO. 4 SPACER BARS. ALL DOWEL BARS SHALL BE WIRED TO ALL SPACER BARS. ROADWAY EXPANSION JOINTS WITH DOWEL BARS SHALL BE PLACED PERPENDICULAR TO BOTH THE ROADWAY AND THE ROADBED. DOWEL BARS SHALL BE SECURED PARALLEL TO BOTH THE ROADWAY AND ROADBED. EXPANSION JOINTS OUTSIDE THE ROADWAY SHALL NOT HAVE DOWEL BARS. EXPANSION JOINT FILLER SHALL BE 1 INCH THICK FOR ALL EXPANSION JOINTS PERPENDICULAR TO THE ROADWAY, AND 1/2 INCH THICK WHERE PLACED PARALLEL WITH THE ROADWAY. THE DEPTH OF THE EXPANSION JOINT FILLER SHALL BE 1/2 INCH LESS THAN THAT OF THE THINNEST ADJACENT PAVEMENT.

ISOLATION JOINTS SHALL BE PLACED BETWEEN ANY STRUCTURES, SUCH AS MANHOLES, INLETS, LIGHT POLES AND THE ADJACENT PAVEMENT. ALL ISOLATIONS JOINTS SHALL BE 1/2 THICK AND PLACED AS SHOWN IN THE DETAILS OR ON THE PAVING PLANS.

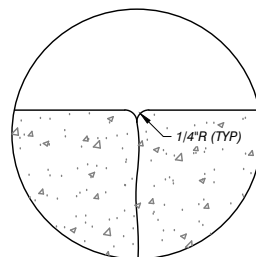
ALL ROADWAY JOINTS SHALL BE SEALED WITH A JOINT SEALANT THAT MEETS THE REQUIREMENTS SET FORTH IN THE SPECIFICATIONS FOR THIS PROJECT. JOINTS OUTSIDE THE FLOW LINE OF THE CURB, NEED NOT BE SEALED, INCLUDING MEDIAN JOINTS.



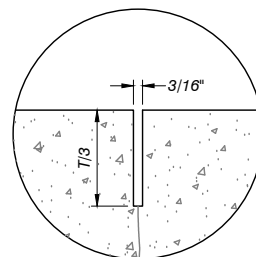
TYPICAL LONGITUDINAL ROADWAY CONSTRUCTION JOINT



TYPICAL SAWN LONGITUDINAL ROADWAY CONTRACTION JOINT



A TOOLED JOINT SHALL HAVE A WEAKENED PLANE INDUCED AT THE JOINT BY SLICING THE PAVEMENT ALONG THE JOINT WITH A MASONS TROWEL (OR OTHER SUITABLE METHOD)
TYPICAL TOOLED CURB, SIDEWALK, DRIVEWAY OR MEDIAN JOINT



TYPICAL SAWN CURB, SIDEWALK, DRIVEWAY OR MEDIAN JOINT

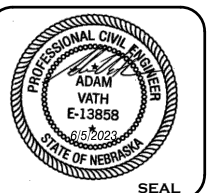
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PROJECT: MONUMENTAUL ESTATES DEVELOPMENT
PHASE I - COMMERCIAL LOTS
GERING, NE
STANDARD DETAILS

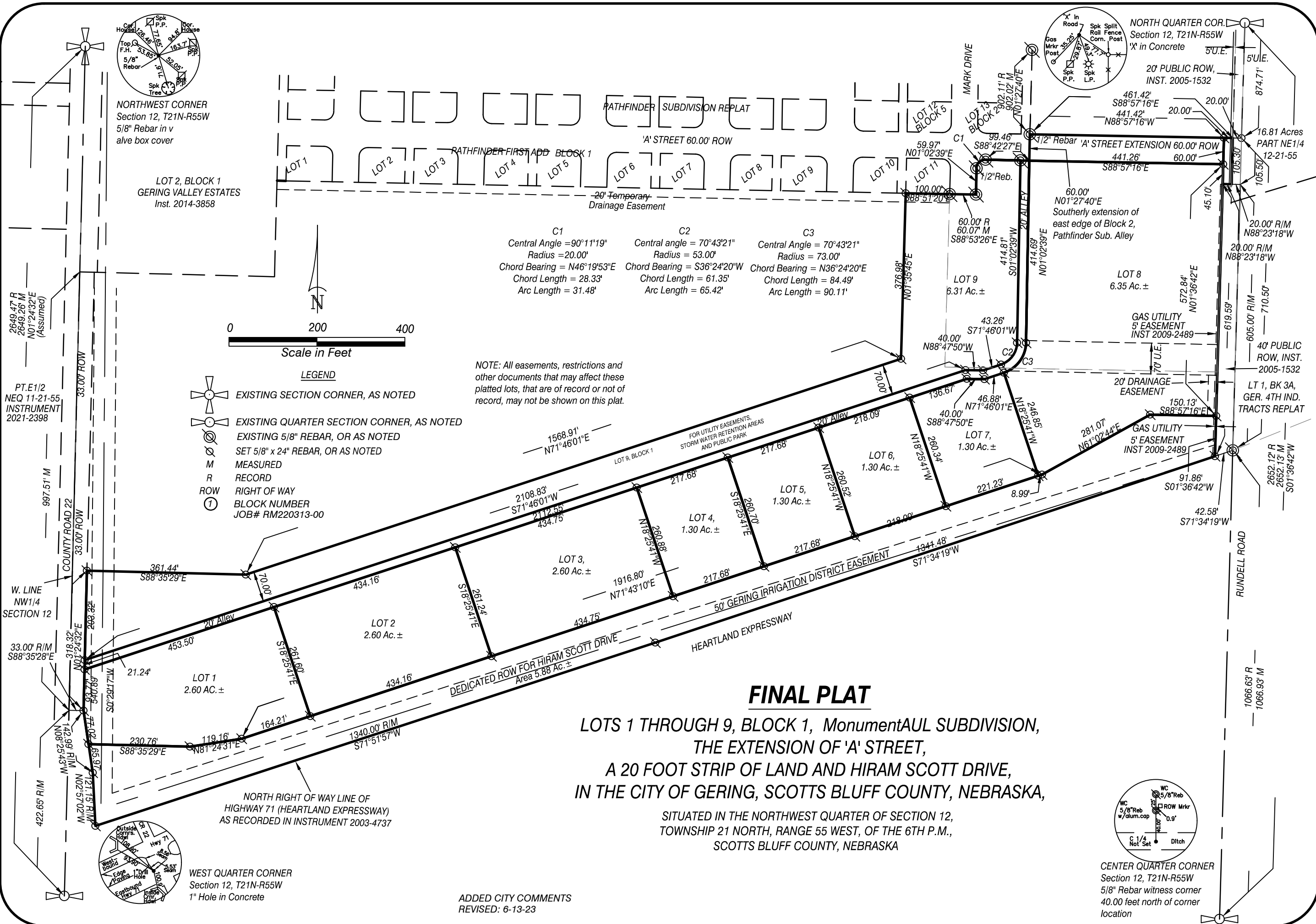
CLIENT: AULICK INDUSTRIES

PROJECT NUMBER: RM220313-00
PROJECT DATE: 4/28/2023
PROJECT MGR: A.M.V.
PROJECT TEAM: D.S./D.D./G.S.



DATE	REVISION

All Agenda Item Summaries and the required attachments are due by Noon on the Wednesday prior to the Council meeting. If the Wednesday prior to the City Council is a holiday, the deadline is Tuesday at Noon.



NORTHWEST CORNER
Section 12, T21N-R55W
5/8" Rebar in v
alve box cover

LOT 2, BLOCK 1
GERING VALLEY ESTATES
Inst. 2014-3858

2649.47' R
2649.26' M
N01°24'32"E
(Assumed)

PT. E 1/2
NEQ 11-21-55
INSTRUMENT
2021-2398

33.00' ROW
COUNTY ROAD 22

W. LINE
NW 1/4
SECTION 12

33.00' R/M
S88°35'28"E

422.65' R/M

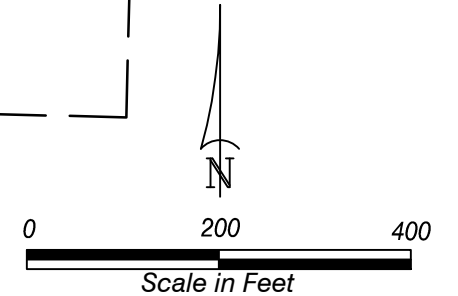
W. 20.19.20N
N01°24'32"E

W. 17.16.15N
N01°24'32"E

W. 17.16.15N
N01°24'32"E

W. 17.16.15N
N01°24'32"E

WEST QUARTER CORNER
Section 12, T21N-R55W
1" Hole in Concrete



- LEGEND**
- EXISTING SECTION CORNER, AS NOTED
 - EXISTING QUARTER SECTION CORNER, AS NOTED
 - EXISTING 5/8" REBAR, OR AS NOTED
 - SET 5/8" x 24" REBAR, OR AS NOTED
 - MEASURED
 - RECORD
 - RIGHT OF WAY
 - BLOCK NUMBER
 - JOB# RM220313-00

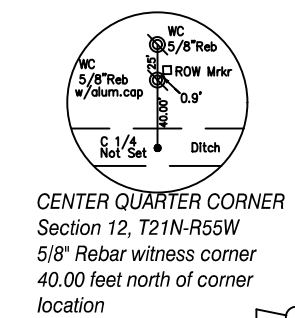
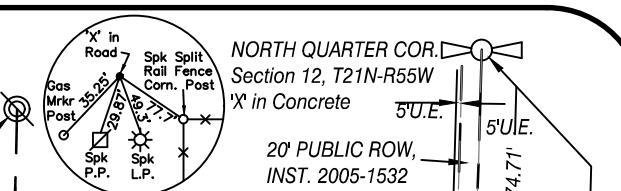
C1	C2	C3
Central Angle = 90°11'19"	Central angle = 70°43'21"	Central Angle = 70°43'21"
Radius = 20.00'	Radius = 53.00'	Radius = 73.00'
Chord Bearing = N46°19'53"E	Chord Bearing = S36°24'20"W	Chord Bearing = N36°24'20"E
Chord Length = 28.33'	Chord Length = 61.35'	Chord Length = 84.49'
Arc Length = 31.48'	Arc Length = 65.42'	Arc Length = 90.11'

NOTE: All easements, restrictions and other documents that may affect these platted lots, that are of record or not of record, may not be shown on this plat.

DEDICATED ROW FOR HIRAM SCOTT DRIVE
Area 5.88 Ac. ±

FINAL PLAT
LOTS 1 THROUGH 9, BLOCK 1, Monument AUL SUBDIVISION,
THE EXTENSION OF 'A' STREET,
A 20 FOOT STRIP OF LAND AND HIRAM SCOTT DRIVE,
IN THE CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA,
SITUATED IN THE NORTHWEST QUARTER OF SECTION 12,
TOWNSHIP 21 NORTH, RANGE 55 WEST, OF THE 6TH P.M.,
SCOTTS BLUFF COUNTY, NEBRASKA

ADDED CITY COMMENTS
REVISED: 6-13-23



SURVEYOR'S CERTIFICATE

LOTS 1-9, MonumentAUL Sub
AND PUBLIC ROW
GERING, NEBRASKA
SHEET 2 OF 4

I, GREGG M. SCHILZ, NEBRASKA REGISTERED LAND SURVEYOR NO. 785, DULY REGISTERED UNDER THE LAND SURVEYOR'S REGULATION ACT, HEREBY CERTIFY I, OR UNDER MY DIRECT SUPERVISION, HAVE SURVEYED LOTS 1 THROUGH 9, BLOCK 1, MONUMENTAUL SUBDIVISION, THE EXTENSION OF 'A' STREET, A 20 FOOT STRIP OF LAND AND HIRAM SCOTT DRIVE, IN THE CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA, SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST, OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

HIRAM SCOTT DRIVE RIGHT OF WAY

A TRACT OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M., SCOTT BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 12, THENCE NORTHERLY ON THE WEST LINE OF SAID SECTION, ON AN ASSUMED BEARING OF N01°24'32"E, A DISTANCE OF 422.65 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE BEARING S88°35'28"E, ON THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 71, A DISTANCE OF 33.00 FEET, TO THE POINT OF INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 22 (7TH/ STREET), SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING, THENCE NORTHERLY ON THE EAST RIGHT OF WAY LINE OF SAID COUNTY ROAD 22, AND PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 12, BEARING N01°24'32"E, A DISTANCE OF 318.33 FEET, THENCE BEARING S88°35'29"E, A DISTANCE OF 361.44 FEET, THENCE BEARING N71°46'01"E, A DISTANCE OF 1568.91 FEET, THENCE BEARING N01°35'45"E, A DISTANCE OF 376.98 FEET, TO THE POINT OF INTERSECTION WITH THE SOUTHWEST CORNER OF LOT 11, BLOCK 1, PATHFINDER FIRST ADDITION, AS RECORDED IN INSTRUMENT 2007-3058, THENCE EASTERLY ON THE SOUTH LINE OF SAID LOT 11, BEARING S88°51'20"E, A DISTANCE OF 100.00 FEET, TO THE POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF SAID LOT 11, THENCE EASTERLY ON THE SOUTH ROAD RIGHT OF WAY OF MARK DRIVE, AS RECORDED IN SAID INSTRUMENT 2007-3058,, BEARING S88°53'26"E, A DISTANCE OF 60.07 FEET MEASURED (60.00 FEET RECORDED), THENCE NORTHERLY ON THE EAST RIGHT OF WAY LINE OF MARK DRIVE, AS RECORDED IN SAID INSTRUMENT 2007-3058, BEARING N01°02'39"E, A DISTANCE OF 59.97 FEET MEASURED (60.00 FEET RECORDED), TO THE POINT OF INTERSECTION WITH A NON-TANGENT CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 20.00 FEET RECORDED AND MEASURED, A CENTRAL ANGLE OF 90°11'19" MEASURED (90°00'00" RECORDED), A CHORD BEARING OF N46°19'53"E, AND A CHORD LENGTH OF 28.33 FEET MEASURED (28.28 FEET RECORDED), THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE, A DISTANCE OF 31.48 FEET MEASURED (31.42 FEET RECORDED), AS RECORDED IN SAID INSTRUMENT 2007-3058, THENCE EASTERLY ON THE SOUTH RIGHT OF WAY LINE OF A STREET, AS RECORDED IN DEED BOOK 151, PAGE 346, BEARING S88°42'27"E, A DISTANCE OF 99.46 FEET, TO THE POINT OF INTERSECTION WITH THE SOUTHERLY EXTENSION OF THE EAST ALLEYWAY LINE OF BLOCK 2, PATHFINDER SUBDIVISION, AS RECORDED IN DEED BOOK 151, PAGE 346, THENCE NORTHERLY ON SAID EAST ALLEYWAY LINE EXTENSION, BEARING N01°27'40"E, A DISTANCE OF 60.00 FEET MEASURED/RECORDED, THENCE BEARING S88°57'16"E, A DISTANCE OF 461.42 FEET, TO THE POINT OF INTERSECTION WITH THE WEST LINE OF A 20.00 FOOT DEDICATED RIGHT OF WAY, PARALLEL WITH THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 12, AS RECORDED IN INSTRUMENT 2005-1532, BEARING S01°36'42"W, A DISTANCE OF 105.30 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH LINE OF A 40.00 FOOT DEDICATED RIGHT OF WAY AS RECORDED IN INSTRUMENT 2005-1532, BEARING N88°23'18"W, A DISTANCE OF 20.00 FEET, THENCE SOUTHERLY, ON THE WEST LINE OF SAID 40.00 FOOT RIGHT OF WAY, BEARING S01°36'42"W, A DISTANCE OF 619.59 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE SOUTHWESTERLY ON SAID NORTH RIGHT OF WAY LINE OF HIGHWAY 71, BEARING S71°34'19"W, A DISTANCE OF 1341.48 FEET, THENCE CONTINUING ON SAID NORTH RIGHT OF WAY LINE, BEARING S71°51'57"W, A DISTANCE OF 1340.00 FEET, THENCE CONTINUING ON SAID NORTH RIGHT OF WAY LINE, BEARING N02°57'02"W, A DISTANCE OF 121.15 FEET, THENCE CONTINUING ON SAID NORTH RIGHT OF WAY LINE, BEARING N08°25'43"W, A DISTANCE OF 142.99 FEET, TO THE POINT OF BEGINNING, CONTAINING AN AREA OF 33.47 ACRES, MORE OR LESS.

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 12, THENCE NORTHERLY ON THE WEST LINE OF SAID SECTION, ON AN ASSUMED BEARING OF N01°24'32"E, A DISTANCE OF 422.65 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE BEARING S88°35'28"E, ON THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 71, A DISTANCE OF 33.00 FEET, TO THE POINT OF INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 22 (7TH STREET), THENCE SOUTHERLY, ON THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 71, BEARING S08°25'43"E, A DISTANCE OF 77.02 FEET, TO THE POINT OF BEGINNING, THENCE BEARING S88°35'29"E, A DISTANCE OF 230.76 FEET, THENCE BEARING N81°24'31"E, A DISTANCE OF 119.16 FEET, THENCE BEARING N71°43'10"E, A DISTANCE OF 1916.80 FEET, THENCE BEARING N61°02'44"E, A DISTANCE OF 281.07 FEET, THENCE BEARING S88°57'16"E, A DISTANCE OF 150.13 FEET, THENCE BEARING S01°36'42"W, A DISTANCE OF 91.86 FEET, POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE SOUTHERLY, ON THE NORTH RIGHT OF WAY LINE, BEARING S71°34'19"W, A DISTANCE OF 1341.48 FEET, THENCE BEARING S71°51'57"W, ON SAID RIGHT OF WAY LINE, A DISTANCE OF 1340.00 FEET, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE, BEARING N02°57'02"W, A DISTANCE OF 121.15, THENCE NORTHERLY ON SAID RIGHT OF WAY LINE OF HIGHWAY 71, BEARING N08°25'43"W, A DISTANCE OF 65.97 FEET, TO THE POINT OF BEGINNING, SAID TRACT OF LAND CONTAINING AN AREA OF 5.88 ACRES, MORE OR LESS.

20 FOOT STRIP TO BE DEDICATED AS PUBLIC ROW

A TRACT OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6th P.M., SCOTT BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 12, THENCE NORTHERLY ON THE EAST LINE OF SAID SECTION, ON AN ASSUMED BEARING OF N01°36'42"E, A DISTANCE OF 1066.93 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE SOUTHERLY, ON THE NORTH RIGHT OF WAY LINE OF SAID HIGHWAY 71, BEARING S71°34'19"W, A DISTANCE OF 42.58 FEET, THENCE BEARING N01°36'42"E, A DISTANCE OF 619.59 FEET, TO THE POINT OF BEGINNING, THENCE CONTINUING NORTHERLY, on a line parallel with the east line of the Northwest Quarter of Section 12, BEARING N01°36'42"E, A DISTANCE OF 105.10 FEET, THENCE BEARING S88°57'16"E, A DISTANCE OF 20.00 FEET, TO THE POINT OF INTERSECTION WITH THE WEST LINE OF A DEDICATED 20 FOOT ROW AS RECORDED IN INST. 2005-1532, THENCE SOUTHERLY ON SAID WEST RIGHT OF WAY LINE, BEARING S01°36'42"W, A DISTANCE OF 105.30 FEET, THENCE BEARING N88°23'18"W, A DISTANCE OF 20.00 FEET, TO THE POINT OF BEGINNING, SAID 20 FOOT WIDE TRACT CONTAINING AN AREA OF 2,104 SQ.FT, MORE OR LESS

EXTENSION OF 'A' STREET

A TRACT OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M., SCOTT BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF SECTION 12, THENCE NORTHERLY ON THE EAST LINE OF SAID SECTION, ON AN ASSUMED BEARING OF N01°36'42"E, A DISTANCE OF 1066.93 FEET, TO THE POINT OF INTERSECTION WITH THE NORTH RIGHT OF WAY LINE OF HIGHWAY 71 (HEARTLAND EXPRESSWAY), AS RECORDED IN INSTRUMENT 2003-4737, THENCE CONTINUING NORTHERLY ON THE EAST LINE OF THE NORTHWEST QUARTER, BEARING N01°36'42"E, A DISTANCE OF 710.50 FEET, THENCE WESTERLY BEARING N88°57'16"W, A DISTANCE OF 40.00 FEET, TO THE POINT OF BEGINNING, THENCE BEARING N88°57'16"W, A DISTANCE OF 441.42 FEET, TO THE POINT OF INTERSECTION WITH THE EAST LINE OF A 20 FOOT ALLEY OF BLOCK 2, PATHFINDER SUBDIVISION AS RECORDED IN DEED BOOK 151, PAGE 346, THENCE SOUTHERLY ON SAID EAST LINE, EXTENDED SOUTHERLY, BEARING S01°27'40"W, A DISTANCE OF 60.00 FEET, THENCE BEARING S88°57'16"E, A DISTANCE OF 441.26 FEET, THENCE BEARING N01°36'42"E, A DISTANCE OF 60.00 FEET, TO THE POINT OF BEGINNING, SAID TRACT CONTAINING AN AREA OF 0.60 ACRES MORE OR LESS.

That the accompanying plat is a true delineation of such survey drawn to a scale of 200 feet to the inch. That all dimensions are in feet and decimals. That each lot and block has its own number and that the boundary of the plat is shown with a heavy solid line with dashed lines being for orientation purposes only. That all corners found or set are marked as shown.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2023.
FOR THE FIRM OF M. C. SCHAFF AND ASSOCIATES, INC.

Gregg M. Schilz, Nebraska Registered Land Surveyor, L. S. 785

HOA EASEMENTS

1. A perpetual license and easement is hereby reserved in favor of and granted to K-N Energy, and any company which has been granted a franchise to provide natural gas service within the Lots, to erect and operate, maintain, repair and renew buried or underground gas mains for the carrying and transmission of gas service on, over, through, under and across a five (5) foot wide strip of land whose centerline is more particularly described in Instrument 2009-2489 as a centerline being 2.5 foot on each side.
2. A perpetual easement is further reserved for drainage and utilities, being 20 feet west of and parallel with the east line of the Northwest Quarter of Section 12 and extending southerly until the intersection of the north line of a 40.00 public right of way, all as described in Instrument 2005-1532, for the use and benefit of the public.
3. A perpetual easement is further reserved in favor of the City of Gering for Lot 9, MonumentAUL Subdivision, as platted, to erect, install, operate, maintain, repair and renew sewer, water, electricity, pipelines, hydrants, stormwater retention, and other related facilities, throughout the entirety of Lot 9, as shown on survey.
4. A perpetual easement is further reserved for drainage and utilities, including but not limited to storm water drainage, City water supply and sanitary sewer system, as platted, across Lot 8, MonumentAUL Subdivision, being 70 feet in width including the current utility lines in place, for the use and benefit of the public.
5. A perpetual easement is further reserved for the drainage of storm water, being the east 20 feet of Lot 8, MonumentAUL Subdivision, beginning at the southeast corner of Lot 8, as platted and extending northerly to the south line of the above mentioned 70 foot utility easement, for the use and benefit of the public.
6. A perpetual easement is further reserved for the Gering Irrigation District, being 25 feet each side of the following described line: Beginning at a point on the west line of the Northwest Quarter of Section 12, being 133 feet north of the Southwest Quarter of the Northwest Quarter of said Section 12, thence easterly on an assumed bearing of N72°15'47"E, a distance of 1399.11 feet, thence bearing N72°35'31"E, a distance of 1383.60 feet, to the point of terminus, said point also being the point of intersection with the east east line of the Northwest Quarter of Said Section 12, and being 1066.19 feet north of the Southeast Corner of said Northwest Quarter, and also the west 50 feet of Lots 1 and 9, MonumentAUL Subdivision, as platted, to maintain, replace, construct and operate their existing underground pipeline.
7. Any easements which are specified in the final plat(s) of MonumentAUL Subdivision.

OWNER'S STATEMENT

WE, THE UNDERSIGNED, BEING THE OWNERS OF UNPLATTED LANDS SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST, OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA, AS DESCRIBED IN THE FOREGOING 'SURVEYOR'S CERTIFICATE' AND SHOWN ON THE ACCOMPANYING PLAT HAVE CAUSED SUCH REAL ESTATE TO BE PLATTED AS LOTS 1 THROUGH 9, BLOCK 1, MONUMENTAUL SUBDIVISION, THE EXTENSION OF 'A' STREET, A 20 FOOT STRIP OF LAND AND HIRAM SCOTT DRIVE, IN THE CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA, SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST, OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA .

That the foregoing plat is made with the free consent and in accordance with the desires of the undersigned owners. We hereby dedicate the streets, public right of way and easements as shown on survey for the use and benefit of the public. Dated this _____ day of _____, 2023.

Owner: AKAJRV 314, LLC,
a Nebraska Limited Liability Company

By: Vinc L. Aulick, Manager

LOTS 1-9, MonumentAUL Sub
AND PUBLIC ROW
GERING, NEBRASKA
SHEET 3 OF 3

ACKNOWLEDGEMENT

STATE OF NEBRASKA }
 }
COUNTY OF SCOTTS BLUFF }

Before me, a Notary Public, qualified and acting in said County, personally came Vinc L. Aulick, Manager of AKAJRV 314, LLC, a Nebraska Limited Liability Company, to me known to be the identical person whose signature is affixed to the foregoing `Owner's Statement' and acknowledged the execution thereof to be his voluntary act and deed, and the voluntary act and deed of AKAJRV 314, LLC .a Nebraska Limited Liability Company.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____, 2023.

Notary Public

My Commission Expires _____

APPROVAL AND ACCEPTANCE

The foregoing plat of LOTS 1 THROUGH 9, BLOCK 1, MONUMENTAUL SUBDIVISION, THE EXTENSION OF 'A' STREET, A 20 FOOT STRIP OF LAND AND HIRAM SCOTT DRIVE, IN THE CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA, SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST, OF THE 6TH P.M., SCOTTS BLUFF COUNTY, NEBRASKA is hereby approved and accepted by the Mayor and City Council of the City of Gering, Scotts Bluff County, Nebraska, dated this _____ day of _____, 2023.

Mayor Kent Ewing

Attest: _____
City Clerk Kathi Welfl



Final 6.8.2023
S. Rodriguez

- Zone Boundaries**
- AG Agriculture District
 - RM Residential Medium-Density District
 - RH Residential High-Density District
 - C-3 General Commercial District

ZONING MAP

Engineering and Mapping Department City of Gering

NORTH LINEAR SCALE (FEET)



ORDINANCE NO. 2128

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GERING, NEBRASKA; AMENDING THE ZONING DISTRICT OF CERTAIN LAND WITHIN THE CITY OF GERING, NEBRASKA; AND AMENDING THE ZONING DISTRICT MAP OF THE CITY OF GERING, NEBRASKA; PROVIDING WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF GERING, NEBRASKA:

Section 1. That the C-3 (General Commercial District) zoning on the following described real estate, to wit:

AREA SITUATED IN THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 21 NORTH, RANGE 55 WEST OF THE 6TH P.M., CITY OF GERING, SCOTTS BLUFF COUNTY, NEBRASKA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 12, THENCE NORTHERLY ON THE WEST LINE OF SAID SECTION, ON AN ASSUMED BEARING OF N01°24'32"E, A DISTANCE OF 740.98 FEET, TO THE POINT OF BEGINNING, THENCE CONTINUING NORTHERLY ON SAID WEST SECTION LINE, BEARING N01°24'32"E, A DISTANCE OF 679.18 FEET, THENCE BEARING S88°35'29"E, A DISTANCE OF 442.94 FEET, TO THE POINT OF INTERSECTION WITH THE SOUTHEAST CORNER OF LOT 2, BLOCK 1, GERING VALLEY ESTATES, THENCE EARING S01°24'32"W, A DISTANCE OF 661.87 FEET THENCE BEARING S71°46'01"W, A DISTANCE OF 51.50 FEET, THENCE BEARING N88°35'29"W, A DISTANCE OF 394.44 FEET, TO THE POINT OF BEGINNING CONTAINING 6.89 ACRES, MORE OR LESS

Is hereby amended to RM (Residential Medium Density District).

Section 2. That all City of Gering Zoning Maps are hereby amended to reflect the same.

Section 3. That this ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form according to law.

PASSED AND APPROVED this _____ day of _____, 2023.

Kent E. Ewing, Mayor

ATTEST:

Kathleen J. Welfl, City Clerk

Agenda Item Summary

For the meeting of: July 10, 2023

Agenda item title: Council to conduct public hearing regarding a Zone Change for Lot 8, MonumentAUL Subdivision, from RM Residential Medium Density District to C-3 General Commercial District

Submitted by: Annie Folck, City Engineer

Explanation of the agenda item:

On the east end of the property that is to be subdivided as MonumentAUL Subdivision, there is a lot that is to be platted as Lot 8, Block 1. The planned use for this lot is as an RV Park, which will require a rezoning of a portion of the lot to C3, General Commercial District. While the comp plan does not specifically address the commercial uses along Highway 71, this change would be in keeping with the existing commercial zoning that is adjacent to Highway 71, and the area is roughly equal to the area on the west that is currently zoned commercial that is to be rezoned to residential. So the location of the commercial development would just change from being on the west side of the property to the east side of the property. The use as an RV park would also be in keeping with what the Comp Plan describes for the East Gering Neighborhood District by providing open space and recreational facilities. While it is important to remember that once rezoned, the property could in the future be used for uses besides an RV Park, the rezoning is still consistent with other policies in the Comprehensive Plan, such as Policy 3.2.B, which states "Focus commercial development in areas that have good transportation access and support the development of multiple uses". The location of Lot 8 adjacent to Rundell Road, Hiram Scott Drive, and in very close proximity to the Expressway makes it well suited for commercial zoning.

Board/Commission/Staff recommendation: Staff recommends approval. Planning Commission recommended approval at their meeting on June 20, 2023.

Does this item require the expenditure of funds?	_____ yes _____ X _____ no
Are funds budgeted?	_____ yes _____ no

If no, comments:

Estimated Amount _____

Amount Budgeted _____

Department _____

Account _____

Account Description _____

Approval of funds available: _____

City Treasurer/Finance Director

Approved for submittal:

Kathy Welfl

Mayor, City Council member, City Administrator, City Clerk

Referred to: Planning Commission

Committee



Final 6.8.2023
S. Rodriguez

- Zone Boundaries
- RM Residential Medium-Density District
 - C-3 General Commercial District
 - ML Light Industrial District
 - MH Heavy Industrial District

ZONING MAP

Engineering and Mapping Department City of Gering

NORTH

LINEAR SCALE (FEET)
0 130 260



ORDINANCE NO. 2129

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF GERING, NEBRASKA; AMENDING THE ZONING DISTRICT OF CERTAIN LAND WITHIN THE CITY OF GERING, NEBRASKA; AND AMENDING THE ZONING DISTRICT MAP OF THE CITY OF GERING, NEBRASKA; PROVIDING WHEN THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT; AND PROVIDING FOR THE PUBLICATION OF THIS ORDINANCE IN PAMPHLET FORM.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF GERING, NEBRASKA:

Section 1. That the RM (Residential Medium-Density District) zoning on the following described real estate, to wit:

Lot 8, Block 1, MonumentAUL Subdivision, City of Gering, Scotts Bluff County, Nebraska

Is hereby amended to C-3 (General Commercial District).

Section 2. That all City of Gering Zoning Maps are hereby amended to reflect the same.

Section 3. That this ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form according to law.

PASSED AND APPROVED this _____ day of _____, 2023.

Kent E. Ewing, Mayor

ATTEST:

Kathleen J. Welfl, City Clerk

Agenda Item Summary

For the meeting of: July 10, 2023

Agenda item title: Liaison Report – PADD, Administrator Heath

Submitted by: Mayor Ewing

Explanation of the agenda item: The Mayor has requested monthly liaison reports for various boards and commissions.

Board/Commission/Staff recommendation: _____

Does this item require the expenditure of funds? _____ **yes** _____ **X** _____ **no**

Are funds budgeted? _____ **yes** _____ **no**

If no, comments: _____

Estimated Amount _____

Amount Budgeted _____

Department _____

Account _____

Account Description _____

Approval of funds available: _____

City Treasurer/Finance Director

Does this item require a resolution or an ordinance? _____ **yes** _____ **X** _____ **no**

If a resolution or ordinance is required, it must be attached.

Approved for submittal: _____

Kathy Welfl

Mayor, City Council member, City Administrator, City Clerk

Referred to: _____ **Committee**